

# JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885  
603.772.4746 - JonesandBeach.com

November 5, 2024

Exeter Planning Board  
Attn. Langdon Plumer, Chair  
10 Front Street  
Exeter, NH 03833

**RE: Site Plan & Conditional Use Application**  
**76 Portsmouth Avenue, Exeter, NH**  
**Tax Map 65, Lot 118**  
**JBE Project No. 24029**

Dear Mr. Plumer,

On behalf of our client, Green & Company, we respectfully submit a Site Plan & Conditional Use Application for the above-mentioned property. The intent of this application is to propose a Mixed-Use Neighborhood Development (MUND) within the C2 zoning district consisting of a townhouse development off Haven Lane with thirty-two (32) three-bedroom units, a four-story mixed-use building on Portsmouth Avenue having 4,418 S.F. commercial use on the first floor and thirty-six (36) one-bedroom units above, and one separate duplex with three-bedroom units on Haven Lane. The site currently exists as Fisher Auto Parts with a large paved parking area. The rear part of the site is undeveloped. The entire site is 6.7 acres.

The rear part of the site will have access and utilities off of Haven Lane. A pump station is proposed for sewer for this portion of the site. The front part of the site will have access and utilities from Portsmouth Ave.

There are wetlands on the west and east sides of the property, and two ditches that run across the property which have been determined to be man-made wetlands that were constructed for drainage purposes. A large culvert from Portsmouth Avenue outlets into one of the man-made ditches just behind the Fisher Auto Parts parking lot, from which runoff eventually flows to the wetland on the west side of the property. Wetland buffer impacts are proposed as part of the project and warrant a conditional use permit.

Proposed drainage infrastructure consists of several bioretention systems for stormwater treatment in order to meet the Town of Exeter and NHDES Alteration of Terrain Bureau's treatment requirements. Additionally, underground concrete chambers are proposed for added stormwater detention in order to maintain the peak flows from the existing to proposed condition. For the front part of the site, an underground Stormfilter system is proposed for treatment and concrete chambers are proposed for added detention as well.

The applicant came before the Planning Board for a design review meeting for this property in July of 2024, at which time a proposed project consisting of a total of 124 residential units was presented, including (2) 4-story residential buildings on the rear part of the site, (1) 4-story mixed use building consisting of both commercial space and residential units, and (1) 3-unit building on Haven Lane. At that time, the front and rear portions of the site were connected via a driveway and approximately 3,500 S.F. of wetland fills were proposed. The applicant was able to take feedback received at this meeting as well as our meeting with the Conservation Commission, also in July 2024, and make revisions to the project to address some of the concerns raised by the Board as well as abutters.

The project was reduced in density from 124 total units to 70 units. On the rear part of the site, with access from Haven Lane, the 4-story buildings were removed in favor of a townhouse development to be more in keeping with the surrounding Jady Hill neighborhood. Access was removed between the front and rear parts of the site to alleviate the concern about cut-through traffic. All direct wetland impacts were also removed which allows for connectivity of the wetlands and drainage to be maintained as it exists today.

9.1.6.B. Conditional Use Criteria:

1. That the proposed use is permitted in the underlying zoning district.  
**RESPONSE: A mixed-use neighborhood development (MUND) is permitted in the C2 Zoning District.**
  
2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible.  
**RESPONSE: Alternative designs have been considered including the design that was presented at the July Conservation Commission and Planning Board meetings. Since that plan, the design has been revised as much as possible and eliminated all direct wetland impacts which is a benefit to the drainage on the property as well as the wetland connectivity. Although the amount of buffer impacts has increased, the buffer can be replicated with proposed vegetation in disturbed areas after construction is complete.**
  
3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.  
**RESPONSE: A functions and values report has been provided by the wetland consultant and is attached. Overall, all of the wetland functions have been degraded by proximity to development and fragmentation. Generally, impacts to the wetland buffers will not have a measurable impact to the wetland functions. Wetland A’s principle function is flood flow alteration, also known as stormwater storage. With no direct wetland impact, the principle function is not reduced by the development. Wetland B has more functions, but still has a principle function of flood flow alteration. With no direct impact, the principle function is not compromised. While other functions are present, the degradation caused by human proximity, water quality degradation, erosion of channel, and fragmentation, results in that the buffer impacts on the functions can be mitigated by buffer treatment. Wetland C and D are man-made, and have very limited to no wetland functions.**

4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer.

**RESPONSE: The proposed design and construction minimizes detrimental impacts to the wetlands as much as possible. The design has been altered in order to eliminate all direct wetland impacts in order to maintain connectivity of the wetlands and drainage. The buffers will be replicated via proposed vegetation. The wetlands will be protected during construction via silt barriers.**

5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons.

**RESPONSE: No wetlands will be lost as part of the project as all direct wetland impacts have been removed from the project. Contamination of groundwater will not occur because stormwater will be treated in compliance with Town of Exeter Site plan regulations as well as NHDES Alteration of Terrain regulations for pollutant removal prior to discharging to the wetlands or groundwater. Peak flows in the proposed condition will be controlled to match existing for all required storm events so as not to increase flooding to neighboring properties. No other hazard to individual public, health, safety or welfare will occur as a result of the proposed wetland buffer impacts.**

6. The applicant may propose an increase in wetland buffers elsewhere on the site that surrounds a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland.

**RESPONSE: The existing vegetated area on the east side of the site behind the commercial buildings on Portsmouth Avenue is to be permanently conserved as green space and to remain undeveloped as part of this project.**

7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.

**RESPONSE: The included plan set proposes to restore all disturbed areas of the buffer that are not proposed to be permanently impacted with vegetation. See Sheet L1 of the plan set.**

8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A:17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act.

**RESPONSE: All required state permits will be obtained for this project including NHDES Alteration of Terrain, NHDES Wastewater Connection and EPA CGP.**

Seven (7) copies of the following are included with this application:

1. Completed Site Plan Application.
2. Fee Check in the Amount of \$2,780.72.
3. Signed Letters of Authorization.
4. Current Deed.
5. Abutters List & 3 Sets of Mailing Labels.
6. Tax Map.
7. Drainage Analysis.
8. Traffic Memo.
9. Architectural Plans.
10. Functions & Values Assessment.
11. Seven (7) Full Size Plan Sets.
12. Fifteen (15) Half Size Plan Sets.

We look forward to discussing this project with the Board. If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,  
**JONES & BEACH ENGINEERS, INC.**



Paige Libbey, P.E.  
Associate Principal

cc: Jenna Green, Green & Company (via email)  
Michael Green, Green & Company (via email)  
John O'Neill (via email)  
Jim Gove, Gove Environmental Services (via email)  
Jack Hayes (via email)  
John Tuttle, Whitcher Builders (via email)  
Michael Macneil  
Kim Hazarvartian, TEPP, LLC (via email)



# Town of Exeter



## Planning Board Application for Site Plan Review

*October 2019*



## **Town of Exeter Planning Board Application for Site Plan Review**

Date: October 2019

Memo To: Applicants for Site Plan Review

From: Planning Department

Re: Site Plan Review Application Process

The goal of the Planning Department is to process site plan review applications as quickly and efficiently as possible, in preparation for review by the Planning Board. To this end, we have designed an application form that is simple and easy to follow (see attached). If some of the information being requested does not seem to be applicable, please check with the Planning Department office, it may be that your particular proposal does not warrant such information.

It is recommended that you schedule a meeting with the Town Planner prior to formally submitting your application. The Town Planner will review your proposal for conformance with all applicable Town regulations and advise you regarding the procedure for obtaining Planning Board approval. Please contact the Planning Department office at (603) 773-6112 to schedule an appointment.

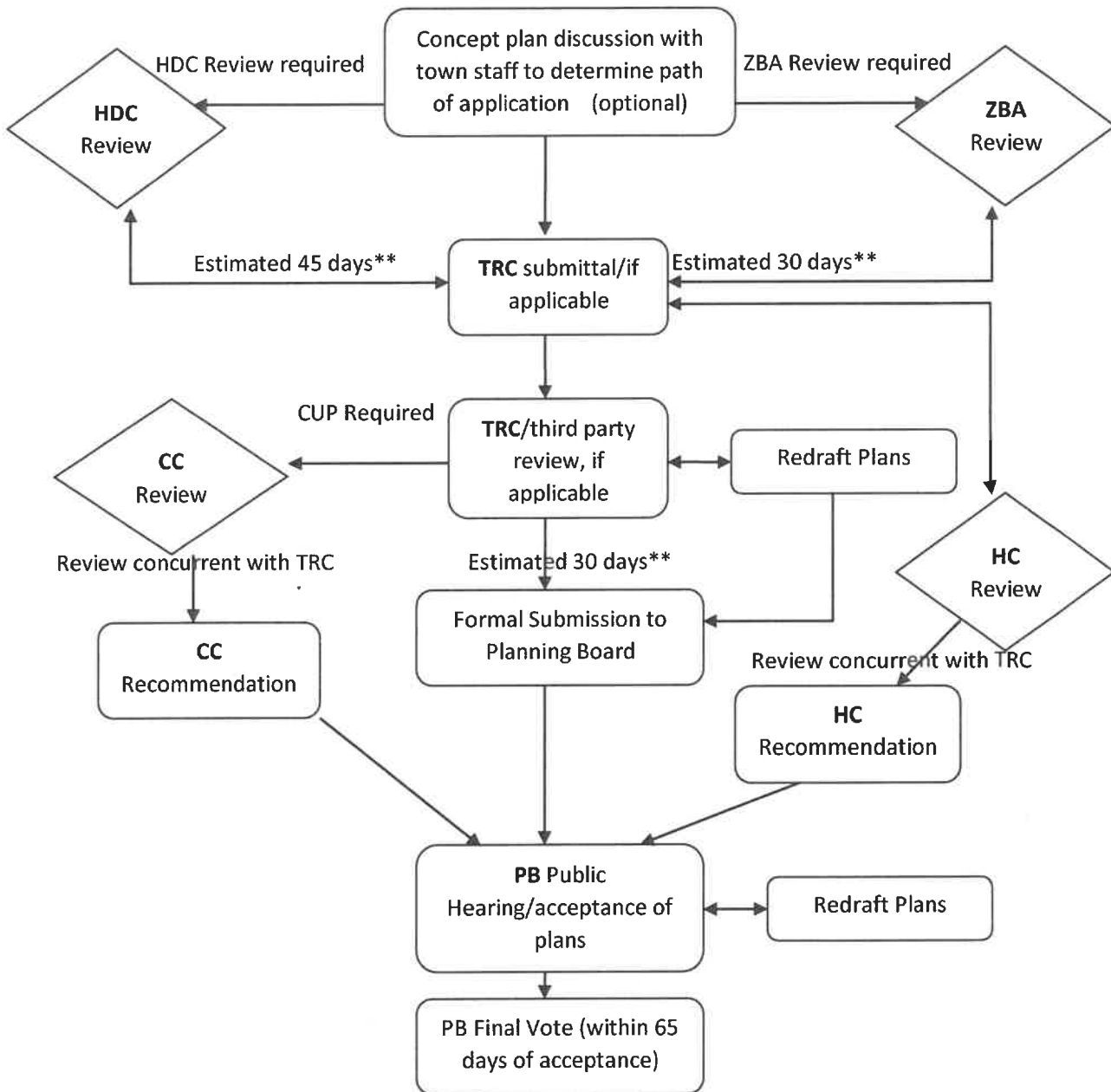
The key to receiving a prompt decision from the Planning Board is to adhere closely to the Board's procedures. A chart outlining the "Planning Board Review Procedure" is attached for your information. Please be aware that a technical review of your proposal by the Technical Review Committee (TRC) must precede Planning board consideration of your application. The Town Planner will only schedule you for a public hearing with the Planning Board after your application has gone through technical review and any required changes have been incorporated.

Copies of the applicable "Site Plan Review and Subdivision Regulations" are available for your review or purchase at the Planning Department office on the second floor of the Town Office Building located at 10 Front Street and are also on the Town's website at [www.exeternh.gov](http://www.exeternh.gov)

It is strongly recommended that you become familiar with these regulations, as they are the basis for review and approval of all site plans.



## Exeter Planning Review Process Flow Chart\*



**ZBA** – Zoning board of Adjustment    **PB** – Planning Board    **HDC** – Historic District Commission  
**HC** – Heritage Commission    **CC** – Conservation Commission    **TRC** – Technical Review Committee  
**CUP** – Conditional Use Permit

\*This chart shows the local process only. State permits (Wetlands, Shoreland, etc. are not shown)  
 \*\*All time estimates are approximate and can vary considerably. However, it is generally expected to take between 90 and 180 days to complete local review in the event review from all boards is required.



## SITE PLAN REVIEW APPLICATION CHECKLIST

A COMPLETED APPLICATION FOR SITE PLAN REVIEW MUST CONTAIN THE FOLLOWING

1. Application for Hearing ( x )
2. Abutter's List Keyed to Tax Map ( x )  
(including the name and business address of every engineer, architect,  
land surveyor, or soils scientist whose professional seal appears on any  
plan submitted to the Board)
3. Completed- " Checklist for Site Plan Review" ( x )
4. Letter of Explanation ( x )
5. Written Request for Waiver (s) from " Site Plan Review and Subdivision  
Regulations" (if applicable) (N/A)
6. Completed "Preliminary Application to Connect and /or Discharge to Town  
of Exeter- Sewer, Water or Storm Water Drainage System(s)"( if applicable) ( x )
7. Planning Board Fees ( x )
8. Seven (7) full-sized copies of Site Plan ( x )
9. Fifteen (15) 11"x17" copies of the final plan to be submitted **TEN DAYS**  
**PRIOR** to the public hearing date. ( x )
10. Three (3) pre-printed 1"x 2 5/8" labels for each abutter, the applicant and  
all consultants. ( x )

**NOTES:** All required submittals must be presented to the Planning Department office for distribution to other Town departments. Any material submitted directly to other departments will not be considered.



# TOWN OF EXETER, NH APPLICATION FOR SITE PLAN REVIEW

### OFFICE USE ONLY

**THIS IS AN APPLICATION FOR:**

- COMMERCIAL SITE PLAN REVIEW
- INDUSTRIAL SITE PLAN REVIEW
- MULTI-FAMILY SITE PLAN REVIEW
- MINOR SITE PLAN REVIEW
- INSTITUTIONAL/NON-PROFIT SPR

\_\_\_\_\_ APPLICATION #  
 \_\_\_\_\_ DATE RECEIVED  
 \_\_\_\_\_ APPLICATION FEE  
 \_\_\_\_\_ PLAN REVIEW FEE  
 \_\_\_\_\_ ABUTTERS FEE  
 \_\_\_\_\_ LEGAL NOTICE FEE  
 \_\_\_\_\_ TOTAL FEES

\_\_\_\_\_ INSPECTION FEE  
 \_\_\_\_\_ INSPECTION COST  
 \_\_\_\_\_ REFUND (IF ANY)

1. **NAME OF LEGAL OWNER OF RECORD:** RAP Realty Manchester LLC  
 \_\_\_\_\_ **TELEPHONE:** (    ) \_\_\_\_\_

**ADDRESS:** 50 Atlantic Avenue, Seabrook, NH 03874

2. **NAME OF APPLICANT:** Green & Company

**ADDRESS:** 11 Lafayette Road, North Hampton, NH 03862

\_\_\_\_\_ **TELEPHONE:** (603) 501-8455

3. **RELATIONSHIP OF APPLICANT TO PROPERTY IF OTHER THAN OWNER:** \_\_\_\_\_

Developer  
 (Written permission from Owner is required, please attach.)

4. **DESCRIPTION OF PROPERTY:** Auto Parts Store

**ADDRESS:** 76 Portsmouth Avenue

**TAX MAP:** 65      **PARCEL #:** 118      **ZONING DISTRICT:** C-2

**AREA OF ENTIRE TRACT:** 6.7 Acres      **PORITION BEING DEVELOPED:** 166,000 S.F



5. ESTIMATED TOTAL SITE DEVELOPMENT COST \$ Undetermined

6. EXPLANATION OF PROPOSAL: The intent of this project is to propose a mixed-use neighborhood development consisting of a townhouse development off Haven Lane with 32 three-bedroom units. A four-story mixed-use building on Portsmouth Avenue having commercial use on the first floor and 36 one-bedroom units above, and one separate duplex with three-bedroom units on Haven Lane.

7. ARE MUNICIPAL SERVICES AVAILABLE? (YES/NO) Yes

If yes, Water and Sewer Superintendent must grant written approval for connection.  
If no, septic system must comply with W.S.P.C.C. requirements.

8. LIST ALL MAPS, PLANS AND OTHER ACCOMPANYING MATERIAL SUBMITTED WITH THIS APPLICATION:

<u>ITEM:</u>	<u>NUMBER OF COPIES</u>
A. <u>See Cover Letter</u>	
B. _____	
C. _____	
D. _____	
E. _____	
F. _____	

9. ANY DEED RESTRICTIONS AND COVENANTS THAT APPLY OR ARE CONTEMPLATED (YES/NO) No IF YES, ATTACH COPY.

10. NAME AND PROFESSION OF PERSON DESIGNING PLAN:

NAME: Paige Libbey, P.E., Jones & Beach Engineers, Inc.

ADDRESS: PO Box 219, Stratham, NH 03885

PROFESSION: Civil Engineer TELEPHONE: (603) 772-4746

11. LIST ALL IMPROVEMENTS AND UTILITIES TO BE INSTALLED:

See plan.





**12. HAVE ANY SPECIAL EXCEPTIONS OR VARIANCES BEEN GRANTED BY THE ZONING BOARD OF ADJUSTMENT TO THIS PROPERTY PREVIOUSLY?**

IF YES, DESCRIBE BELOW. (Please check with the Planning Department Office to verify)

None

**13. WILL THE PROPOSED PROJECT INVOLVE DEMOLITION OF ANY EXISTING BUILDINGS OR APPURTENANCES? IF YES, DESCRIBE BELOW.**

(Please note that any proposed demolition may require review by the Exeter Heritage Commission in accordance with Article 5, Section 5.3.5 of the Exeter Zoning Ordinance).

Yes

**14. WILL THE PROPOSED PROJECT REQUIRE A "NOTICE OF INTENT TO EXCAVATE" (State of NH Form PA-38)? IF YES, DESCRIBE BELOW.**

No

**NOTICE:** I CERTIFY THAT THIS APPLICATION AND THE ACCOMPANYING PLANS AND SUPPORTING INFORMATION HAVE BEEN PREPARED IN CONFORMANCE WITH ALL APPLICABLE REGULATIONS; INCLUDING BUT NOT LIMITED TO THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS" AND THE ZONING ORDINANCE. FURTHERMORE, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 15.2 OF THE "SITE PLAN REVIEW AND SUBDIVISION REGULATIONS", I AGREE TO PAY ALL COSTS ASSOCIATED WITH THE REVIEW OF THIS APPLICATION.

DATE 11/4/24 OWNER'S SIGNATURE *[Signature]* (654504)

ACCORDING TO RSA 676.4.I ( c ), THE PLANNING BOARD MUST DETERMINE WHETHER THE APPLICATION IS COMPLETE WITHIN 30 DAYS OF SUBMISSION. THE PLANNING BOARD MUST ACT TO APPROVE, CONDITIONALLY APPROVE, OR DENY AN APPLICATION WITHIN SIXTY FIVE (65) DAYS OF ITS ACCEPTANCE BY THE BOARD AS A COMPLETE APPLICATION. A SEPARATE FORM ALLOWING AN EXTENSION OR WAIVER TO THIS REQUIREMENT MAY BE SUBMITTED BY THE APPLICANT.



ABUTTERS: PLEASE LIST ALL PERSONS WHOSE PROPERTY IS LOCATED IN NEW HAMPSHIRE AND ADJOINS OR IS DIRECTLY ACROSS THE STREET OR STREAM FROM THE LAND UNDER CONSIDERATION BY THE BOARD. THIS LIST SHALL BE COMPILED FROM THE EXETER TAX ASSESSOR'S RECORDS.

TAX MAP See Attached List  
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**Please attach additional sheets, if needed**



## CHECKLIST FOR SITE PLAN REVIEW

The checklist on the following page has been prepared to assist you in the preparation of your site plan. The checklist items listed correspond to the site plan requirements set forth in Section 7 of the “Site Plan Review and Subdivision Regulations”. Unless otherwise indicated, all section references within this checklist refer to these regulations. Each of the items listed on this checklist must be addressed by the applicant prior to technical review of the site plan by the Technical Review Committee (TRC) See section 6.5. of the “Site Plan Review and Subdivision Regulations”. This checklist **DOES NOT** include all of the detailed information required for site plan preparation and therefore should not be the sole basis for the preparation of these plans. For a complete listing of site plan requirements, please refer to Section 7 of the “Site Plan Review and Subdivision Regulations”. In addition to these required plan items, the Planning Board will review site plans based upon the standards set forth in Sections 8 and 9 of the “Site Plan Review and Subdivision Regulations”. As the applicant, it is **YOUR RESPONSIBILITY** to familiarize yourself with these standards and to prepare your plans in conformance with them.

Please complete this checklist by marking each item in the column labeled “Applicant” with one of the following: “X: (information provided); “NA” (not applicable); “W: (waiver requested). For all checklist items marked “NA”, a final determination regarding applicability will be made by the TRC. For all items marked “W”, please refer to Section 13 of the “Site Plan Review and Subdivision Regulations” for the proper request procedure to be followed. If waivers are requested, a justification letter for requested waivers is strongly suggested. All waiver requests will be acted upon by the Planning Board at a public hearing. Please contact the Planning Department office if you have any questions concerning the proper completion of this checklist.

All of the required information for the plans listed in the checklist must be provided on separate sheets, unless otherwise approved by the TRC.

**NOTE: AN INCOMPLETE CHECKLIST WILL BE GROUNDS FOR REJECTION OF YOUR APPLICATION.**



## SITE PLAN REQUIREMENTS

### 7.4 Existing Site Conditions Plan

Submission of this plan will not be applicable in all cases. The applicability of such a plan will be considered by the TRC during its review process as outlined in Section 6.5 Technical Review Committee (TRC) of these regulations. The purpose of this plan is to provide general information on the site, its existing conditions, and to provide the base data from which the site plan or subdivision will be designed. The plan shall show the following:

APPLICANT	TRC	REQUIRED EXHIBITS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.1 Names, addresses, and telephone numbers of the owner, applicant, and person(s) or firm(s) preparing the plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.2 Location of the site under consideration, together with the current names and addresses of owners of record, of abutting properties and their existing land use.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.3 Title, date, north arrow, scale, and Planning Board Case Number.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.4 Tax map reference for the site under consideration, together with those of abutting properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.5 Zoning (including overlay) district references.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.6 A vicinity sketch or aerial photo showing the location of the land/site in relation to the surrounding public street system and other pertinent location features within a distance of 2,000-feet, or larger area if deemed necessary by the Town Planner.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.7 Natural features including watercourses and water bodies, tree lines, significant trees (20-inches or greater in diameter at breast height) and other significant vegetative cover, topographic features, and any other environmental features that are important to the site design process.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.8 Man-made features such as, but not limited to, existing roads, structures, and stonewalls. The plan shall also indicate which features are to be retained and which are to be removed or altered.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.9 Existing contours at intervals not to exceed 2-feet with spot elevations provided when the grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.10 A High Intensity Soil Survey (HISS) of the entire site, or appropriate portion thereof. Such soil surveys shall be prepared by a certified soil scientist in accordance with the standards established by the Rockingham County Conservation District. Any cover letters or explanatory data provided by the certified soil scientist shall also be submitted.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.11 State and Federally designated wetlands, setback information, total wetlands proposed to be filled, other pertinent information and the following wetlands note: "The landowner is responsible for complying with all applicable local, state, and federal wetlands regulations, including any permitting and setback requirements required under these regulations."
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.12 Surveyed property lines including angles and bearings, distances, monument locations, and size of the entire parcel. A professional land surveyor licensed in New Hampshire must attest to said plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.13 The lines of existing abutting streets and driveway locations within 200-feet of the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.14 The location, elevation, and layout of existing catch basins and other surface drainage features.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.15 The shape, size, height, location, and use of all existing structures on the site and approximate location of structures within 200-feet of the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.16 The size and location of all existing public and private utilities, including off-site utilities to which connection is planned.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.17 The location of all existing easements, rights-of-way, and other encumbrances.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.18 All floodplain information, including the contours of the 100-year flood elevation, based upon the Flood Insurance Rate Map for Exeter, as prepared by the Federal Emergency Management Agency, dated May 17, 1982.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.19 All other features which would fully explain the existing conditions of the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.4.20 Name of the site plan or subdivision.



## 7.5 Proposed Site Conditions Plan (Pertains to Site Plans Only)

The purpose of this plan is to illustrate and fully explain the proposed changes taking place within the site. The proposed site conditions plan shall depict the following:

APPLICANT	TRC	REQUIRED EXHIBITS
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.1 Proposed grades and topographic contours at intervals not to exceed 2-feet with spot elevations where grade is less than 5%. All datum provided shall reference the latest applicable US Coast and Geodetic Survey datum and should be noted on the plan.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.2 The location and layout of proposed drainage systems and structures including elevations for catch basins.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.3 The shape, size, height, and location of all proposed structures, including expansion of existing structures on the site and first floor elevation(s). Building elevation(s) and a rendering of the proposed structure(s).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.4 High Intensity Soil Survey (HISS) information for the site, including the total area of wetlands proposed to be filled.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.5 State and Federally designated wetlands, setback information, total wetlands proposed to be filled, other pertinent information and the following wetlands note: "The landowner is responsible for complying with all applicable local, state, and federal wetlands regulations, including any permitting and setback requirements required under these regulations."
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.6 Location and timing patterns of proposed traffic control devices.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.7 The location, width, curbing and paving of all existing and proposed streets, street rights-of-way, easements, alleys, driveways, sidewalks and other public ways. The plan shall indicate the direction of travel for one-way streets. See Section 9.14 – Roadways, Access Points, and Fire Lanes for further guidance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.8 The location, size and layout of off-street parking, including loading zones. The plan shall indicate the calculations used to determine the number of parking spaces required and provided. See Section 9.13 – Parking Areas for further guidance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.9 The size and location of all proposed public and private utilities, including but not limited to: water lines, sewage disposal facilities, gas lines, power lines, telephone lines, cable lines, fire alarm connection, and other utilities.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.10 The location, type, and size of all proposed landscaping, screening, green space, and open space areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.11 The location and type of all site lighting, including the cone(s) of illumination to a measurement of 0.5-foot-candle.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.12 The location, size, and exterior design of all proposed signs to be located on the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.13 The type and location of all solid waste disposal facilities and accompanying screening.





<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.14 Location of proposed on-site snow storage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.15 Location and description of all existing and proposed easement(s) and/or right-of-way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.16 A note indicating that: "All water, sewer, road (including parking lot), and drainage work shall be constructed in accordance with Section 9.5 Grading, Drainage, and Erosion & Sediment Control and the Standard Specifications for Construction of Public Utilities in Exeter, New Hampshire". See Section 9.14 Roadways, Access Points, and Fire Lanes and Section 9.13 Parking Areas for exceptions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	7.5.17 Signature block for Board approval

### OTHER PLAN REQUIREMENTS (See Section indicated)

- N/A  7.7 Construction plan
- 7.8 Utilities plan
- 7.9 Grading, drainage and erosion & sediment control plan
- 7.10 Landscape plan
- 7.11 Drainage Improvements and Storm Water Management Plan
- N/A  7.12 Natural Resources Plan
- N/A  7.13 Yield Plan

# Town of Exeter



## Planning Board Application for Conditional Use Permit: Wetlands Conservation Overlay District

*July 2023*



# Town of Exeter Planning Board Application

## Conditional Use Permit: Wetland Conservation Overlay District in accordance with Zoning Ordinance Article: 9.1

### SUBMITTAL REQUIREMENTS:

1. Refer to the Land Use Board Meeting Schedule and Deadlines for Submission Requirements.
2. Plans Must Include:
  - Existing Conditions
    - a. Property Boundaries
    - b. Edge of Wetland and associated Buffer (Wetlands Conservation Overlay District - WCOD)
      - Prime wetland: 100'
      - Very Poorly Drained: 50'
      - Vernal Pool (>200 SF): 75'
      - Poorly Drained: 40'
      - Exemplary Wetland: 50'
      - Inland Stream: 25'
    - c. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
  - Proposed Conditions
    - a. Edge of Wetlands and Wetland Buffers and distances to the following:
      - i. Edge of Disturbance
      - ii. Structures, roads/access ways, parking, drainage systems, utilities, wells and wastewater disposal systems and other site improvements
    - b. Name and phone number of all individuals whose professional seal appears on the plan
3. If applicant and/or agent is not the owner, a letter of authorization must accompany this application
4. Supporting documents i.e. Letters from the Department of Environmental Services, Standard Dredge and Fill Application and Photos of the property
5. A Town of Exeter Assessors list of names and mailing addresses of all abutters

Required Fees:
Planning Board Fee: <b>\$50.00</b> Abutter Fee: <b>\$10.00</b> Recording Fee (if applicable): <b>\$25.00</b>

The Planning Office must receive the completed application, plans and fees on the day indicated on the Planning Board Schedule of Deadlines and Public Hearings.

APPLICANT	Name: Green & Company
	Address: 11 Lafayette Road, North Hampton, NH 03862
	Email Address: jenna@greenandcompany.com
	Phone: 603-501-8455
PROPOSAL	Address: 76 Portsmouth Avenue
	Tax Map # <u>65</u> Lot# <u>118</u> Zoning District: <u>C-2</u>
	Owner of Record: RAP Realty Manchester LLC
Person/Business performing work outlined in proposal	Name: Paige Libbey, P.E., Jones & Beach Engineers, Inc.
	Address: PO Box 219, Stratham, NH 03885
	Phone: 603-772-4746
Professional that delineated wetlands	Name: Gove Environmental Services, Inc.
	Address: 8 Continental Drive, Unit H, Exeter, NH 03833
	Phone: 603-778-0644

**Town of Exeter  
 Planning Board Application  
 Conditional Use Permit: Wetland Conservation Overlay District**

Detailed Proposal including intent, project description, and use of property: (Use additional sheet as needed)

See attached cover letter.

Wetland Conservation Overlay District Impact (in square footage):			
Temporary Impact	<b>Wetland:</b>	(SQ FT.)	<b>Buffer:</b> (SQ FT.)
	<input type="checkbox"/> Prime Wetlands	_____	<input type="checkbox"/> Prime Wetlands _____
	<input type="checkbox"/> Exemplary Wetlands	_____	<input type="checkbox"/> Exemplary Wetlands _____
	<input type="checkbox"/> Vernal Pools (>200SF)	_____	<input type="checkbox"/> Vernal Pools (>200SF) _____
	<input type="checkbox"/> VPD	_____	<input checked="" type="checkbox"/> VPD <u>10,400</u>
	<input type="checkbox"/> PD	_____	<input checked="" type="checkbox"/> PD <u>10,300</u>
	<input type="checkbox"/> Inland Stream	_____	<input type="checkbox"/> Inland Stream _____
Permanent Impact	<b>Wetland:</b>		<b>Buffer:</b>
	<input type="checkbox"/> Prime Wetlands	_____	<input type="checkbox"/> Prime Wetlands _____
	<input type="checkbox"/> Exemplary Wetlands	_____	<input type="checkbox"/> Exemplary Wetlands _____
	<input type="checkbox"/> Vernal Pools (>200SF)	_____	<input type="checkbox"/> Vernal Pools (>200SF) _____
	<input type="checkbox"/> VPD	_____	<input checked="" type="checkbox"/> VPD <u>12,400</u>
	<input type="checkbox"/> PD	_____	<input checked="" type="checkbox"/> PD <u>11,100</u>
	<input type="checkbox"/> Inland Stream	_____	<input type="checkbox"/> Inland Stream _____

List any variances/special exceptions granted by Zoning Board of Adjustment including dates:

None

Describe how the proposal meets conditions in **Article 9.1.6.B** of the Zoning Ordinance (attached for reference). Written justification for each criterion must be provided to be deemed administratively complete.

See Cover Letter for Responses.

9.1.6.B. Prior to issuance of a conditional use permit, the Planning Board shall conclude and make a part of the record, compliance with the following criteria:

1. That the proposed use is permitted in the underlying zoning district;
2. No alternative design which does not impact a wetland or wetland buffer or which has less detrimental impact on the wetland or wetland buffer is feasible;
3. A wetland scientist has provided an impact evaluation that includes the “functions and values” of the wetland(s), an assessment of the potential project-related impacts and concluded to the extent feasible, the proposed impact is not detrimental to the value and function of the wetland(s) or the greater hydrologic system.
4. That the design, construction and maintenance of the proposed use will, to the extent feasible, minimize detrimental impact on the wetland or wetland buffer;
5. That the proposed use will not create a hazard to individual or public health, safety and welfare due to the loss of wetland, the contamination of groundwater, or other reasons;
6. The applicant may propose an increase in wetland buffers elsewhere on the site that surround a wetland of equal or greater size, and of equal or greater functional value than the impacted wetland
7. In cases where the proposed use is temporary or where construction activity disturbs areas adjacent to the immediate use, the applicant has included a restoration proposal revegetating any disturbed area within the buffer with the goal to restore the site as nearly as possible to its original grade and condition following construction.
8. That all required permits shall be obtained from the New Hampshire Department of Environmental Services Water Supply and Pollution Control Division under NH RSA §485-A: 17, the New Hampshire Wetlands Board under NH RSA §483-A, and the United States Army Corps of Engineers under Section 404 of the Clean Water Act;



## TOWN OF EXETER, NEW HAMPSHIRE

10 FRONT STREET • EXETER, NH • 03833-3792 • (603) 778-0591 • FAX 772-4709

[www.exeternh.gov](http://www.exeternh.gov)

DATE: January 1, 2024  
TO: Applicants  
FROM: Planning & Building Department  
RE: Preliminary Application to Connect and/or Discharge to Town of Exeter Sewer,  
Water and/or Storm Drainage System(s)

Attached is the "Preliminary Application to Connect and/or Discharge to Town of Exeter Sewer, Water or Storm Water Drainage System(s)". This Application form must be completed by the applicant or the applicant's authorized agent for projects that are subject to Planning Board approval or for a change of use. It is a prerequisite for submission of the "Applications for Sewer Service, Water Service and Storm Drainage Work." All of the application forms referenced above must be completed and approved prior to the issuance of a building permit. This application is intended to address a number of different scenarios and therefore, all sections may not be applicable to your particular situation. Please read the application carefully and fill out as completely as possible. If there are any questions, please feel free to contact the Planning and Building Department Offices. All forms must be submitted to the Planning and Building Department Office for review and distribution.

**Please Note: Any approval(s) granted in conjunction with this application will be valid for a period of one (1) year from the date of such approvals(s).**





**TOWN OF EXETER - DEPARTMENT OF PUBLIC WORKS**

**PRELIMINARY APPLICATION TO CONNECT AND/OR DISCHARGE TO TOWN OF EXETER  
SEWER, WATER, AND/OR STORMWATER DRAINAGE SYSTEM(S)**

Project Name Lilac Place

Project Location 76 Portsmouth Avenue

Applicant/Owner Name Green & Company

Mailing Address 11 Lafayette Road, North Hampton, NH 03862

Phone Number 603-501-8455 email jenna@greenandcompany.com

Project Engineer Paige Libbey, P.E., Jones & Beach Engineers, Inc.

Mailing Address PO Box 219, Stratham, NH 03885

Phone Number 603-772-4746 email plibbey@jonesandbeach.com

Type of Discharge/Connection  Sewer  Water  Stormwater

Application completed by

Name Paige Libbey, P.E.

Signature

Date 11/4/24

Reviewed and verified by Planning & Building Department \_\_\_\_\_

**DESIGN FLOWS**

The water and sewer design flow shall be based upon the New Hampshire Code of Administrative Rules, Env-Wq 1000 Subdivisions; Individual Sewage Disposal Systems, Table 1008-1 Unit Design Flow Figures (current version) or other methodology which may be deemed acceptable by the Town of Exeter. The minimum fee for a single-family residential unit is based on the design flow for two (2) bedrooms. Existing water and sewer flows may be based on meter readings for the current use.

If the proposed discharge is non-residential or is residential but exceeds 5,000 gallons per day (gpd), Section C must be completed. Certain water and sewer discharges must be approved by the State of New Hampshire Department of Environmental Services by way of permit and plan submittals. It is the responsibility of the applicant to ensure submittals are made to the state through the town is necessary. Final town approval cannot be made without the state's approval if required.

Stormwater design flows are based on the drainage analysis prepared by the applicant using the most current published precipitation data available.

**APPROVALS ARE VALID FOR PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL**

**SECTION A: PROPOSED NEW CONNECTIONS OR MODIFICATION OF EXISTING CONNECTIONS**

**SANITARY SEWER**

Description of work Connection of sewer main for 76 Portsmouth Ave. proposed building & proposed "Lilac Place" development off Haven Lane

Title of plan Lilac Place

Total design flow (gpd) 9,732 GPD based on Metcalf & Eddy per Env-Wq 700 rules

*\*For any non-residential discharge or residential discharge exceeding 5,000 GPS, or for a change of use, complete Section C of this form.*

Approved \_\_\_\_\_ Date \_\_\_\_\_  
Water & Sewer Managing Engineer

**WATER**

Description of work Connection of sewer main for 76 Portsmouth Ave. proposed building & proposed "Lilac Place" development off Haven Lane

Title of plan Lilac Place

Total design flow (gpd) 9,732 GPD based on Metcalf & Eddy per Env-Wq 700 rules

Approved \_\_\_\_\_ Date \_\_\_\_\_  
Water & Sewer Managing Engineer

**STORMWATER**

Description of work N/A - being managed on-site

Title of plan \_\_\_\_\_

Total design flow  
(10-year storm, CFS) \_\_\_\_\_

Approved \_\_\_\_\_ Date \_\_\_\_\_  
Highway Superintendent

**APPROVALS ARE VALID FOR PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL**

**SECTION B: IMPACT FEES**

Provide the following information to determine if a water and/or sewer impact fee will be required for a new development or a change or increase in use.

**Current/prior Use(s)**

Describe current use(s) Automobile Parts Store

<u>Use</u>	<u>Unit Flow (gpd)</u>	<u>Total Existing Flow</u>
Automobile Parts Store	1.5 gpd/parking space x 20 spaces approximately =30 gpd	
Automobile Parts Store	8 gpd/employee x 5 employees approximately = 40 gpd	
Total existing flow		<u>70 gpd total</u>

**Proposed Use(s)**

Describe proposed use(s) Residential & Commercial

<u>Use</u>	<u>Unit Design Flow (gpd)</u>	<u>Total Design Flow</u>
Residential.	36 one bed units @ 70 gpd/bedroom = 2,520 gpd 34 three bed units @ 70 gpd/bedroom = 7,140 gpd	
Commercial	16 parking spaces @ 1.5 gpd/space = 24 gpd 6 employees @ 8 gpd/employee = 42 gpd	
Total proposed flow		<u>9,732 gpd total</u>

**Impact Fees** (80% of the design flow)

Change in flow rate (gpd)	<u>9,662</u>	x 0.8 = Impact Fee flow rate (gpd)	<u>7,729.60</u>
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*If there is a decrease in flow rates, no water or sewer impact fee will be charged. If there is an increase in flow rates, a water and/or sewer impact fee will be charged using the following formula:*

Sewer Impact Fee: Flow increase (gpd) 7,729.60 x \$1.81= 13,990.58

Water Impact Fee: Flow increase (gpd) 7,729.60 x \$3.74 = 28,908.70

**Approved by Town of Exeter**

Town Planner \_\_\_\_\_ Date \_\_\_\_\_

Water & Sewer Managing Engineer \_\_\_\_\_ Date \_\_\_\_\_

**APPROVALS ARE VALID FOR PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL**

**SECTION C: SANITARY SEWER CLASSIFICATION AND BASELINE MONITORING**

(NON-RESIDENTIAL DISCHARGES OR RESIDENTIAL DISCHARGE OVER 5,000 GPD)

In accordance with Title 40 of the Code of Federal Regulations, Part 403 Section 403.14, information provided herein shall be available to the public without restriction except as specified in 40 CFR Part 2. A discharge permit will be issued on the basis of the information provided in this section.

In accordance with all terms and conditions of the Town of Exeter, New Hampshire Ordinances Chapter 15, all persons discharging wastewater into the town’s facilities shall comply with all applicable federal, state, and local Industrial Pre-treatment rules.

**PART I - USER INFORMATION**

Property Owner Name  . RAP Realty Manchester LLC  
Owner’s Representative  . Green & Company  
Address  . 11 Lafayette Road, North Hampton, NH 03862  
Phone  . 603-501-8455 email  . jenna@greenandcompany.com  
Tenant Name  .  
Address  .  
Phone  . email  .

**PART II - PRODUCT OR SERVICE INFORMATION**

Products Manufactured  . N/A  
Services Provided  .  
SIC Code(s)  . Building Area (SF)  .  
Number of Employees  . Days/week of operation  . Shifts per day  .

**PART III - CATEGORY OF SEWER DISCHARGE**

Type of Discharge  Septic  Proposed  Existing  Change of Use

Water Use (gpd)  . 9,732 (from Section A)

**Check all that apply:**

- Domestic waste only (toilets & sinks)
- Domestic waste plus some process wastewater
- Federal pre-treatment standards (40 CFR) applies

**PART IV - CLASSIFICATION DETERMINATION**

*(to be completed by Town staff)*

CLASS 1 - SIGNIFICANT OR CATEGORICAL INDUSTRIAL USER \_\_\_\_\_

CLASS 2 - MINOR INDUSTRIAL OR COMMERCIAL USER \_\_\_\_\_

CLASS 3 - INSIGNIFICANT INDUSTRIAL OR COMMERCIAL USER \_\_\_\_\_

CLASS 4 - NON-SYSTEM USER, OR DISCONTINUED SERVICE \_\_\_\_\_

*See attached sheet for the basis of the determination.*

Determined by \_\_\_\_\_ Title \_\_\_\_\_ Date \_\_\_\_\_

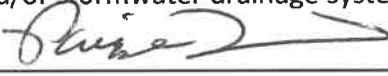
Approved \_\_\_\_\_ Date \_\_\_\_\_

Water & Sewer Managing Engineer

**PART V - CERTIFICATION**

I have personally examined and am familiar with the information submitted in this section for the above name use. The information provided is true, accurate and complete. I am aware that there are significant penalties from federal, state and/or town regulatory agencies for submitting false information, including the possibility of fine and/or imprisonment.

I acknowledge and agree to pay all charges incurred for monitoring, testing and subsequent analysis performed on the Town of Exeter sewer, water and/or stormwater drainage system(s), in the course of determining the town's ability to serve the project. Further, I acknowledge and agree that failure to accurately declare said flow requirements shall be sufficient cause to deny access to the Town of Exeter sewer, water and/or stormwater drainage system(s).

Signature of Applicant  (as agent) Date 11/21/24

Name of Property Owner RAP Realty Management LLC

**APPROVALS ARE VALID FOR PERIOD OF ONE (1) YEAR FROM DATE OF APPROVAL**

## USER CLASSIFICATION SYSTEM FOR INDUSTRIAL DISCHARGE

### CLASS 1: SIGNIFICANT INDUSTRIAL USER

Any industry and/or commercial establishment that:

- Is subject to National Pre-treatment standards as outlined in 40 CFR (Code of Federal Regulations) 403.5 (a) (b).
- Discharges a non-domestic waste stream of 5,000 GPD, or more.
- Contributes a non-domestic waste stream totaling 5% or more of the average dry weather hydraulic or organic (BOD<TSS< etc.) capacity of the Town of Exeter Sewer Treatment Facility.
- Has the reasonable potential, in the opinion of the POT Supervisor, to adversely affect the treatment plant, its workers, or the collection system by reason of inhibition, pass- through pollutants, or sludge contamination.

### CLASS 2: MINOR INDUSTRIAL USERS

Small industries and commercial establishments (e.g. restaurants, auto repair shops, cleaners, etc.) whose individual discharges do not significantly impact the Town of Exeter Sewer Treatment Facility or systems, degrade receiving water quality or contaminate the sludge. Industries that have the potential to discharge a non-domestic or process waste stream, but at the present time discharge only sanitary waste, may also be included in this class. However, this class shall not include any categorical industries. Industries and commercial establishments in this classification will require a permit and be subject to all inspection, compliance monitoring, enforcement, and reporting requirements of the pretreatment program.

### CLASS 3: INSIGNIFICANT INDUSTRIAL USERS

Users which will be eliminated from participation in Exeter's Pretreatment Program. These include industries and/or commercial establishments that discharge only domestic waste (toilets and sinks only) into the municipal sewer system or do not have any reasonable chance of discharging a non-domestic waste stream to the POTW. Class 3 users will be required to notify the Exeter Sewer Division of any change in discharge quantity or character.

### CLASS 4: NON-SYSTEM USER

Any industry, business or commercial establishment identified in the Master List of Industrial Users that are not connected to the Exeter Sewer system or which has ceased to discharge to the system.

Industries and/or commercial establishments classified as Class 1 or Class 2 users will be regulated individually and have specific effluent limitations (including conventional pollutants, where necessary) in the discharge permit. All Class 1 and Class 2 users will require a State Discharge Permit, and be subject to all inspection, compliance monitoring, and enforcement and reporting requirements of the pretreatment program.



**TOWN OF EXETER PLANNING DEPARTMENT  
PLANNING AND ZONING FEE SCHEDULE  
EFFECTIVE JANUARY 2018**

(changes adopted by the Select Board – January 2018)

**PUBLICATIONS**

ZONING ORDINANCE	\$ 15.00
MASTER PLAN	\$ 35.00
CAPITAL IMPROVEMENTS PROGRAM	\$ 15.00
SUBDIVISION & SITE PLAN REVIEW REGS	\$ 15.00
PUBLIC WORKS SPECIFICATIONS (at DPW)	\$ 20.00
HDC PRESERVATION GUIDELINES	\$ 10.00
POSTAGE	\$ 5.00 (per publication)

**BOARD OF ADJUSTMENT**

VARIANCE APPLICATION	\$ 100.00
SPECIAL EXCEPTION APPLICATION	\$ 100.00
APPEAL FROM ADMINISTRATIVE DECISION	\$ 100.00
ABUTTER NOTICE	\$ 10.00 (per abutter)
LEGAL NOTICE FEE	\$ 50.00

**PLANNING BOARD**

LOT LINE ADJUSTMENT	\$ 60.00
SUBDIVISION	
• APPLICATION (includes Open Space Dev.)	\$ 125.00
• PER LOT OR OPEN SPACE UNIT FEE	\$ 50.00 per lot (up to 3 new lots) \$ 100.00 per lot (for 4 or more new lots)
NON-RESIDENTIAL SITE PLAN REVIEW	
• APPLICATION	Minor - \$100.00      Major - \$ 250.00      - \$250.00
• PLAN REVIEW	\$ 60.00/1,000 s.f. of total building floor area (Example: 30,000 SF building = \$ 1,800. review fee) <u>With no building, \$5./\$1,000. on the cost of site improvements</u> 40,512 S.F./1,000x\$60 = 2,430.72
MULTI-FAMILY SITE PLAN REVIEW	Same as N/R Site Plan Review
LEGAL NOTICE	\$ 50.00      \$50.00
ABUTTER NOTICE	\$ 10.00 (per abutter)      X 25 = \$250.00

**SITE INSPECTION SERVICE** – Fee to be based upon a reasonable estimate of the cost of anticipated site inspections (typically 1-3% of the estimated construction costs for the project). Additional funds to be collected as needed; any unexpended fees to be returned to the Applicant upon completion of all site improvements.

**HISTORIC DISTRICT COMMISSION**

APPLICATION & PLAN REVIEW	No fees
ABUTTER NOTICE	\$ 10.00 (if applicable)

**MISCELLANEOUS**

• SIGN PERMITS	\$ 25.00 (per sign)
• HOME OCCUPATION USE PERMITS	\$ 25.00
• COPIES	\$ .50 (per page)
• TRAIL MAPS	\$ 1.00/each
• WETLAND MARKERS	\$ 1.00/each

CONDITIONAL USE APPLICATION - \$50.00

**Letter of Authorization**

I, Jenna Green, Green & Company, 11 Lafayette Road, PO Box 1297, North Hampton, NH 03862, developer of property located in Exeter, NH, known as Tax Map 65, Lot 118, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously mentioned property. The parcel is located on 76 Portsmouth Avenue in Exeter, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

Cavlene Olson  
Witness

Jenna Green  
Jenna Green  
Green & Company

June 20<sup>th</sup>  
Date  
2024

**Letter Of Authorization**

I, Robert J. Weisner, RAP Realty Manchester, LLC, 50 Atlantic Avenue, Seabrook, NH 03874, owner of property located in Exeter, NH, known as Tax Map 65, Lot 118, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously mentioned property. The parcel is located on 76 Portsmouth Avenue in Exeter, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

*Julie Weisner*  
Witness

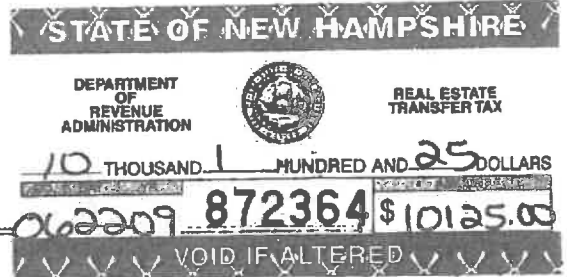
*Robert J. Weisner*  
Owner: Robert J. Weisner  
RAP Realty Manchester, LLC

*6-20-2024*  
Date

1 of 4  
For recorder's use:  
Tax Stamp: \$ 10,125.00  
Recording Fee: \$ 20.44

**MAILED**

Charge: \$ 25.00  
Return to: Acct. No.: D7  
Davine, Millimet & Branch, P.A.  
111 Amherst Street  
Manchester, NH 03101



**WARRANTY DEED**

**BLJ, INC., formerly known as Robbins Auto Parts, Inc.**, a corporation organized and existing under the laws of the State of New Hampshire, with an address of 110-116 Washington Street, Dover, New Hampshire 03820, for consideration paid, grants to **RAP REALTY MANCHESTER, LLC**, a limited liability company organized under the laws of the State of New Hampshire, with an address of 116 Washington Street, Dover, New Hampshire 03820, with **WARRANTY COVENANTS:**

A certain tract or parcel of land, with the buildings and improvements thereon, situated on the northerly side of Portsmouth Avenue, so-called, in Exeter, Rockingham County, New Hampshire, bounded and described as follows:

Beginning on the northerly sideline of Portsmouth Avenue at the southwesterly corner of land now or formerly of Pouliotte; thence running southwesterly along said Portsmouth Avenue 225 feet to the southeasterly corner of land now or formerly of Walsh; thence turning at a right angle and running northwesterly along land of said Walsh 200 feet, more or less, to an iron pin at the northeasterly corner of land of said Walsh; thence turning at a right angle and running 300 feet along the northerly sideline of said Walsh and land of Culick and Baker to an iron pin at land now or formerly of Pendergast; thence turning at a right angle and running northwesterly 16 feet to an iron pipe set in the ground at the northeast corner of said Pendergast land; thence turning at a right angle and running southwesterly 374.6 feet along said Pendergast land to an iron pin at land now or formerly of Rogalski; thence turning at a right angle and running northwesterly along land of Rogalski 60 feet, more or less, to corner of land now or formerly of Tellier; thence turning and running northeasterly 640 feet, more or less, and parallel to Bonnie Drive along land of Tellier and various other land owners including land now or formerly of Cadieux to the southwest corner of land now or formerly of Johnson; thence turning and running northeasterly along the southerly sideline of said Johnson land 60 feet, more or less, to the southeasterly corner of land of Johnson; thence turning at a right angle and running northwesterly along the easterly sideline of said Johnson land 90 feet to the southerly sideline of Haven Lane extension; thence turning at a right angle and running along the southerly sideline of said Haven Lane extension 50 feet to the northeast corner of land now or formerly conveyed to Milner; thence turning at a right angle and running southeasterly along said Milner land 90 feet to a point; thence turning at a

2003 JUN 22 AM 8:50 029878

ROCKINGHAM COUNTY  
REGISTRY OF DEEDS

right angle and running 200 feet along the southerly sideline of said Milner land to a point; thence turning at a right angle and running northwesterly along said Milner land 90 feet to the southerly sideline of said Haven Lane extension; thence turning at a right angle and running along the southerly sideline of said Haven Lane extension 125 feet, more or less, to a point; thence turning at a right angle and running northwesterly 40 feet to the northerly sideline of said Haven Lane extension; thence turning at a right angle and running North 70° 37' E 240 feet, more or less, to the northwesterly corner of land now or formerly of Avenue Motor Sales, Inc.; thence turning and running southeasterly along land of Avenue Motor Sales, Inc. 140 feet, more or less, to a point at land now or formerly of Burnham; thence turning at a right angle and running southwesterly 375 feet along land now or formerly of said Burnham and land of said Pouliotte to an iron pin at the northwesterly corner of land of said Pouliotte; thence turning at a right angle and running 200 feet, more or less, along land of Pouliotte to the northerly sideline of said Portsmouth Avenue to the point begun at.

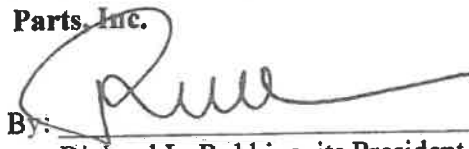
EXCLUDING therefrom a certain parcel of land conveyed by Bert Simon to the Indian Head National Bank by deed dated May 22, 1972 and recorded at Book 2140, Page 324 of the Rockingham County Registry of Deeds.

SUBJECT TO the Drainage Easement granted by Robbins Auto Parts, Inc. to Exeter Health Resources, Inc. and First Development Corp. dated May 5, 1988 and recorded with said Registry of Deeds at Book 2741, Page 718 and as depicted on the plan entitled "Plan of Drainage Easement, Exeter, NH", dated March 28, 1988 prepared for Exeter Hospital by Kimball Chase, Civil Environmental Engineers and recorded with said Registry of Deeds as Plan No. D-18012.

Being the same premises conveyed to Robbins Auto Parts, Inc. by deed of Baron Investment Corporation dated July 19, 1979 and recorded at Book 2345, Page 1044 of the Rockingham County Registry of Deeds.

Executed as of the 12 day of June, 2009.

**BLJ, Inc., formerly known as Robbins Auto Parts, Inc.**

  
By: \_\_\_\_\_  
Richard L. Robbins, its President  
Duly Authorized

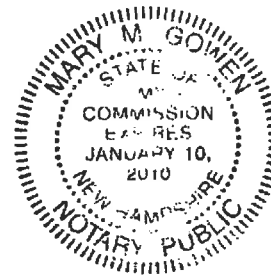
  
Witness

State of New Hampshire  
County of Stratford

The foregoing instrument was acknowledged before me this 12 day of June, 2009, by Richard L. Robbins, President of BLJ, Inc., formerly known as Robbins Auto Parts, Inc., a corporation organized under the laws of the State of New Hampshire, on behalf of said corporation.

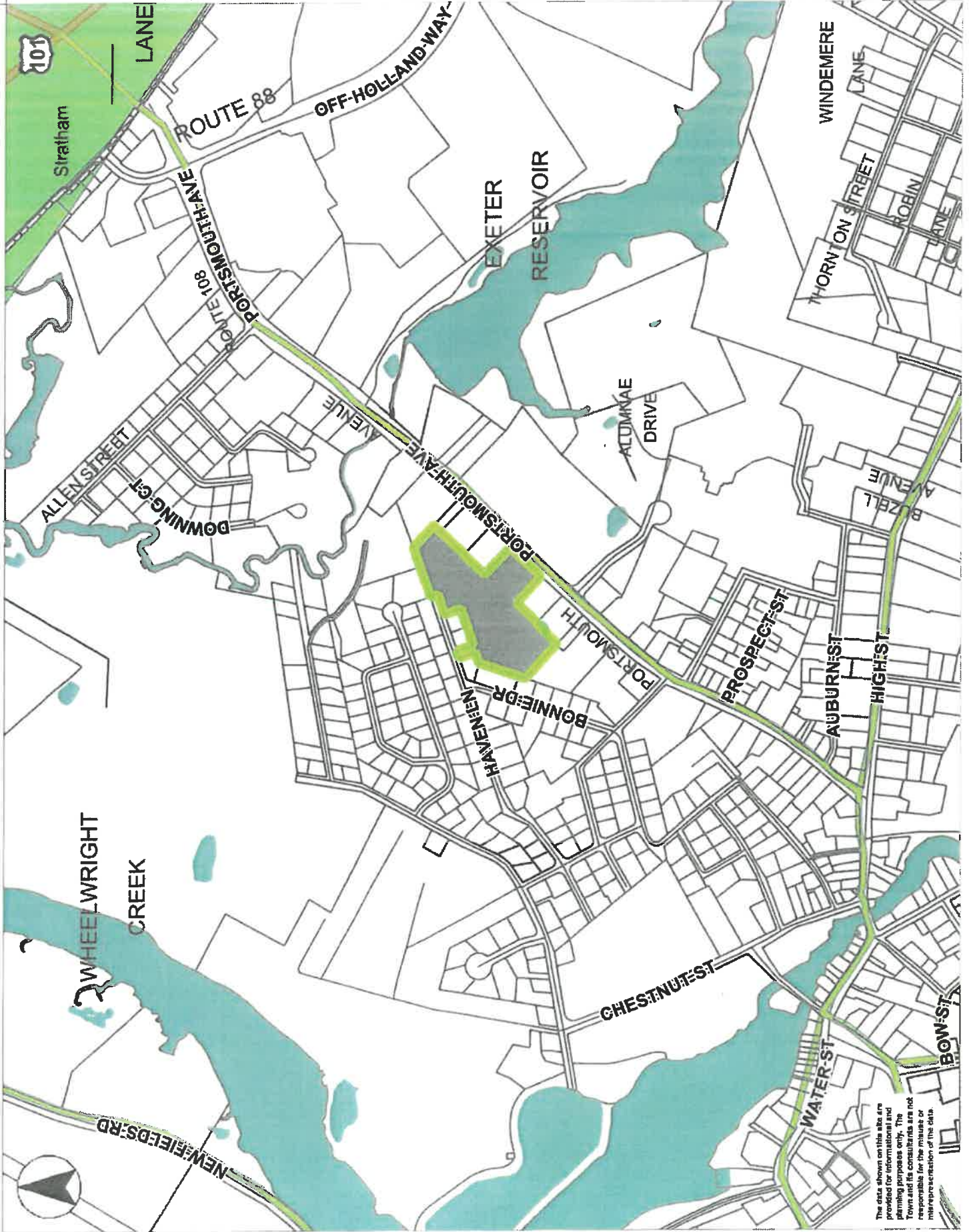
Mary M Gowen  
Justice of the Peace / Notary Public  
My Commission Expires: 1-10-2010  
Seal or Stamp:

J:\WDOX\DOCS\CLIENTS\20597\89510\M1399160.DOC





- Parcels
- NH Highways
- Interstate
- US Highway
- State Highway
- Town Boundary
- Abutting Towns
- Streets
- Misc Streams
- Parcel Streams
- Open Water
- Buildings



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.

**ABUTTERS LIST (DIRECT)  
AS OF  
OCTOBER 21, 2024  
FOR  
76 PORTSMOUTH AVENUE, EXETER, NH  
JBE PROJECT No. 24029**

**OWNER OF RECORD:**

TAX MAP 65/LOT 118  
RAP REALTY MANCHESTER LLC  
ATTN. R. WEISNEV  
50 ATLANTIC AVE  
SEABROOK, NH 03874  
BK 5023/PG 2926 (06/22/09)

**APPLICANT:**

GREEN & COMPANY  
11 LAFAYETTE RD  
PO BOX 1297  
NORTH HAMPTON, NH 03862

**ABUTTERS:**

52/12  
TOWN OF EXETER  
10 FRONT STREET  
EXETER, NH 03833

52/42  
SHANE LAMKIN  
29 DOUGLASS WAY  
EXETER, NH 03833  
5632/1000 (06/30/15)

65/37  
DANIEL HEFFERNAN  
32 HAVEN LANE  
EXETER, NH 03833  
5562/1813 (09/22/14)



65/38  
ZACHARY DAVID SHELTRA  
34 HAVEN LANE  
EXETER, NH 03833  
6344/0288 (10/21/21)

65/39  
LUIS & MARTHA FRANCESCHI  
36 HAVEN LANE  
EXETER, NH 03833  
6236/2825 (02/12/21)

65/40  
JOAN ELLEN HAYES  
37 HAVEN LANE  
EXETER, NH 03833  
2647/1678 (12/09/86)

65/41  
EFREN & JENEFER BOAC  
35 HAVEN LANE  
EXETER, NH 03833  
5106/2552 (04/29/10)

65/42  
MICHAEL & DANIELLE HAUCK  
31 HAVEN LANE  
EXETER, NH 03833  
5738/2947 (07/29/16)

65/43-1  
CRAIG & KATHERINE BOUDREAU  
11 BONNIE DR  
EXETER, NH 03833  
4409/0282 (12/10/04)

65/44  
MATTHEW CARDAMONE  
9 BONNIE DR  
EXETER, NH 03833  
5882/2140 (06/14/17)

65/114  
BANK OF AMERICA  
CORP REAL ESTATE ASSESSMENTS  
PO BOX 32547  
CHARLOTTE, NC 28232  
4574/0707 (08/08/05)

65/115  
JAMES FOY  
5 BLACK ALDER DR  
KINGSTON, NH 03848  
2613/2514 (07/02/86)

65/116  
ARANOSIAN OIL CO  
557 NO STATE ST  
CONCORD, NH 03301  
1691/0034 (10/07/63)

65/117  
ISERNIA OF NEW HAMSPHIRE LLC  
LOCASCIO OF NEW HAMSPHIRE LLC  
116-11 14<sup>TH</sup> RD  
BEECHHURST, NY 11357  
4888/2934 (02/22/08)

65/119  
82 PORTSMOUTH AVE  
C/O PATER RE MANAGEMENT CO INC  
1 VERANI WAY  
LONDONDERRY, NH 03053  
6068/0609 (12/17/19)

65/120  
GARY BLAKE 2001 REV TR  
C/O NORTHEAST CREDIT UNION A/P  
PO BOX 1240  
PORTSMOUTH, NH 03833  
3661/1058 (10/18/01)

65/121  
88 PORTSMOUTH AVE LLC  
C/O CARRIE UPTON  
76 EXETER RD  
NORTH HAMPTON, NH 03862  
6349/1360 (11/01/21)

65/122  
EXETER PLAZA REALTY TRUST  
PETER & SOTIRIA KAZANTIDIS TRUSTEES  
7 HERTIAGE WAY  
EXETER, NH 03833  
3237/0852 (09/10/97)

65/127  
R E L COMMONS LLC  
C/O WJP DEVELOPMENT LLC  
8 GREENLEAF WOODS DR, STE 200  
PORTSMOUTH, NH 03801  
4446/2615 (03/04/05)

**ENGINEERS/SURVEYORS:**

JONES & BEACH ENGINEERS, INC.  
ATTN: PAIGE LIBBEY  
PO BOX 219  
STRATHAM, NH 03885

**SOIL SCIENTIST:**

GOVE ENVIRONMENTAL SERVICES  
ATTN. JIM GOVE  
8 CONTINENTAL DRIVE, UNIT H  
EXETER, NH 03833

**WETLAND SCIENTIST:**

JACK HAYES  
7 LIMESTONE WAY  
NORTH HAMPTON, NH 03862

**TRAFFIC ENGINEER:**

TEPP LLC  
ATTN. KIM HAZARVARTIAN  
93 STILES ROAD, SUITE 201  
SALEM, NH 03079

RAP REALTY MANCHESTER LLC  
ATTN. R. WEISNEV  
50 ATLANTIC AVE  
SEABROOK, NH 03874

RAP REALTY MANCHESTER LLC  
ATTN. R. WEISNEV  
50 ATLANTIC AVE  
SEABROOK, NH 03874

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SEABROOK, NH 03874

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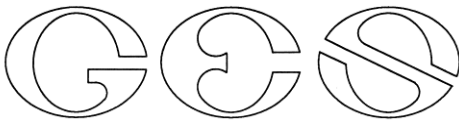
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NORTH HAMPTON, NH 03862



TECHNICAL REPORT OF WETLAND FUNCTIONS AND VALUES

Date of Report: 10-29-24

GES Project No.: 2024047

Project Location: 74 Portsmouth Avenue, Exeter

Prepared for: GREEN & COMPANY

Site Area Observed: Tax Map 65, Lot 18

Site Conditions: FORESTED.

Wetlands Present: FOUR WETLAND AREAS EVALUATED – A, B, C, D

Seasonal Conditions: SITE WAS VISITED IN FALL OF 2024

Field Delineators: JP Gove CWS 051, CSS 004

Standards Utilized: THE HIGHWAY METHODOLOGY WORKBOOK *SUPPLEMENT*.  
WETLAND FUNCTIONS AND VALUES A *DESCRIPTIVE APPROACH*. US  
ARMY CORPS OF ENGINEERS, *NEW ENGLAND DIVISION*. 1993.

*Compiled by:* James P. Gove

- A: Functions were flood flow alteration, sediment/toxicant, nutrient removal. Principal function if flood flow alteration.
- B: Functions were flood flow alteration, sediment/toxicant retention, nutrient removal, production export, wildlife habitat. Principal function flood flow alteration.
- C: Functions had no functions. Man-made ditch.
- D: Function was flood flow alteration, which is also the principal function.

Attachments:

Wetland Function-Value Forms for A, B, C, D.

Photo log and notes.

Plan with Wetland IDs noted.

## Wetland Function-Value Evaluation Form

Total area of wetland 1 ± AC Human made? N Is wetland part of a wildlife corridor? N or a "habitat island"? N  
 Adjacent land use FOREST + DEVELOPED Distance to nearest roadway or other development 0'  
 Dominant wetland systems present PFOIE Contiguous undeveloped buffer zone present N  
 Is the wetland a separate hydraulic system? Y If not, where does the wetland lie in the drainage basin? \_\_\_\_\_  
 How many tributaries contribute to the wetland? 0 Wildlife & vegetation diversity/abundance (see attached list)

Wetland I.D. A  
 Latitude — Longitude —  
 Prepared by: JPG Date 10-29-30  
 Wetland Impact:  
 Type NONE Area \_\_\_\_\_  
 Evaluation based on:  
 Office  Field   
 Corps manual wetland delineation completed? Y  N

Function/Value	Suitability Y/N	Rationale (Reference #)*	Principal Function(s)/Value(s)	Comments
Groundwater Recharge/Discharge	N	6	N	Soils silt + clay
Floodflow Alteration	Y	3, 4, 8, 9	Y	Wetland Area is Small
Fish and Shellfish Habitat	N		N	No WATER COURSE
Sediment/Toxicant Retention	Y	1, 2, 4	N	AREA Too Small
Nutrient Removal	Y	4, 7	N	AREA Too Small
Production Export	N	4	N	LIMITED FOOD SOURCES
Sediment/Shoreline Stabilization	N		N	No SHORELINE
Wildlife Habitat	N	13	N	FRAGMENTED By Development
Recreation	N		N	FRAGMENTED By Development
Educational/Scientific Value	N		N	PRIVATE LAND
Uniqueness/Heritage	N	1	N	DEGRADED BY ENCROACHMENT
Visual Quality/Aesthetics	N		N	No VIEWS
<b>ES</b> Endangered Species Habitat	N		N	NONE Observed
Other				

Notes:

\* Refer to backup list of numbered considerations.



## Wetland Function-Value Evaluation Form

Total area of wetland ± 1 Human made? N Is wetland part of a wildlife corridor? Y or a "habitat island"? N  
 Adjacent land use AC FOREST + DEVELOPED Distance to nearest roadway or other development 20'  
 Dominant wetland systems present PFOIE Contiguous undeveloped buffer zone present N  
 Is the wetland a separate hydraulic system? N If not, where does the wetland lie in the drainage basin? Low  
 How many tributaries contribute to the wetland? 1 Wildlife & vegetation diversity/abundance (see attached list)

Wetland I.D. B  
 Latitude — Longitude —  
 Prepared by: JPG Date 10-29-24  
 Wetland Impact:  
 Type NONE Area —  
 Evaluation based on:  
 Office  Field   
 Corps manual wetland delineation completed? Y  N

Function/Value	Suitability Y/N	Rationale (Reference #)*	Principal Function(s)/Value(s)	Comments
Groundwater Recharge/Discharge	N	6	N	Soils silt + clay
Floodflow Alteration	Y	3, 6, 8, 9	Y	Large Area, Flood Plain
Fish and Shellfish Habitat	N	14, 17	N	DEEP ERODED CHANNEL
Sediment/Toxicant Retention	Y	1, 2, 4	N	Channelized Flows
Nutrient Removal	Y	4, 7	N	Channelized Flows
Production Export	Y	4, 7, 10	N	Channelized Flows
Sediment/Shoreline Stabilization	N	3, 4, 8	N	ERODED CHANNELS
Wildlife Habitat	Y	6, 7, 8, 13	N	DEGRADED, BORDER NARROW
Recreation	N		N	PRIVATE LAND
Educational/Scientific Value	N		N	PRIVATE LAND
Uniqueness/Heritage	N	1	N	DEGRADED, EROSION
Visual Quality/Aesthetics	N		N	No Views
ES Endangered Species Habitat	N	TRANSITORY	N	NON observed
Other				

Notes:

\* Refer to backup list of numbered considerations.



# Wetland Function-Value Evaluation Form

Total area of wetland 0.05 Human made? Y Is wetland part of a wildlife corridor? N or a "habitat island"? N  
 Adjacent land use AC DEVELOPED, FOREST Distance to nearest roadway or other development 50'  
 Dominant wetland systems present PEMx Contiguous undeveloped buffer zone present N  
 Is the wetland a separate hydraulic system? N If not, where does the wetland lie in the drainage basin? LOW  
 How many tributaries contribute to the wetland? 0 Wildlife & vegetation diversity/abundance (see attached list)

Wetland I.D. C  
 Latitude — Longitude —  
 Prepared by: JPG Date 10/29/24  
 Wetland Impact:  
 Type — Area —  
 Evaluation based on:  
 Office ✓ Field ✓  
 Corps manual wetland delineation completed? Y ✓ N —

Function/Value	Suitability Y/N	Rationale (Reference #)*	Principal Function(s)/Value(s)	Comments
Groundwater Recharge/Discharge	N	6	N	Soils silt & clay
Floodflow Alteration	N	3	N	STEEP CHANNEL
Fish and Shellfish Habitat	N		N	NO WATER COURSE
Sediment/Toxicant Retention	N	4	N	CHANNELIZED FLOWS
Nutrient Removal	N	7	N	STEEP SLOPES
Production Export	N		N	NO FOOD SOURCES
Sediment/Shoreline Stabilization	N		N	NO WATER COURSE
Wildlife Habitat	N		N	MAN-MADE CHANNEL
Recreation	N		N	PRIVATE LAND
Educational/Scientific Value	N		N	PRIVATE LAND
Uniqueness/Heritage	N	1	N	Narrow man-made channel
Visual Quality/Aesthetics	N		N	NO VIEWS
ES Endangered Species Habitat	N	No Habitat	N	NONE OBSERVED
Other				

Notes:

\* Refer to backup list of numbered considerations.



## Wetland Function-Value Evaluation Form

Total area of wetland 0.06 Human made? Y Is wetland part of a wildlife corridor? N or a "habitat island"? N  
 Adjacent land use Ac DEVELOPED FOREST Distance to nearest roadway or other development 0'  
 Dominant wetland systems present R2UBX Contiguous undeveloped buffer zone present NO  
 Is the wetland a separate hydraulic system? NO If not, where does the wetland lie in the drainage basin? LOW  
 How many tributaries contribute to the wetland? 1 Wildlife & vegetation diversity/abundance (see attached list)

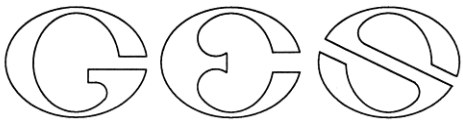
Wetland I.D. D  
 Latitude — Longitude —  
 Prepared by: JPG Date 10/29/24  
 Wetland Impact:  
 Type — Area —  
 Evaluation based on:  
 Office  Field   
 Corps manual wetland delineation completed? Y  N

Function/Value	Suitability Y/N	Rationale (Reference #)*	Principal Function(s)/Value(s)	Comments
Groundwater Recharge/Discharge	N	6	N	Soils impermeious
Floodflow Alteration	Y	3, 7, 8, 9	Y	Water course - high velocities
Fish and Shellfish Habitat	N		N	Eroded, steep channel
Sediment/Toxicant Retention	N	1, 2	N	Short duration/Retention
Nutrient Removal	N		N	WATER Velocities high
Production Export	N		N	No Food sources
Sediment/Shoreline Stabilization	N		N	Eroded channel
Wildlife Habitat	N		N	No Habitat
Recreation	N		N	Private Land
Educational/Scientific Value	N		N	Private Land
Uniqueness/Heritage	N		N	MAN-made channel
Visual Quality/Aesthetics	N		N	No views
Endangered Species Habitat	N	No Habitat	N	Deep channelization
Other				

Notes:

\* Refer to backup list of numbered considerations.





GOVE ENVIRONMENTAL SERVICES, INC.

Photos and notes on 10-29-2024 by JP Gove.  
76 Portsmouth Ave., Exeter, NH  
Wetland A



Buckthorn, Raspberry, Sedges, Golden Rods, Grey Birch.  
Rabbits and birds.  
Herbaceous layer dead or covered with new leaves.  
Isolated wetland.

8 Continental Dr Bldg 2 Unit H, Exeter, NH 03833-7526  
*Ph (603) 778 0644 / Fax (603) 778 0654*  
*www.gesinc.biz*  
*info@gesinc.biz*



Wetland B



Buckthorn, Grey Birch, Red Maple, Herbaceous vegetation dead or covered with leaves.  
Perennial Stream



Wetland C



Nightshade, Maple-leaf Viburnum, Honeysuckle, Herbaceous vegetation dead or covered with leaves.

Man-made ditch.

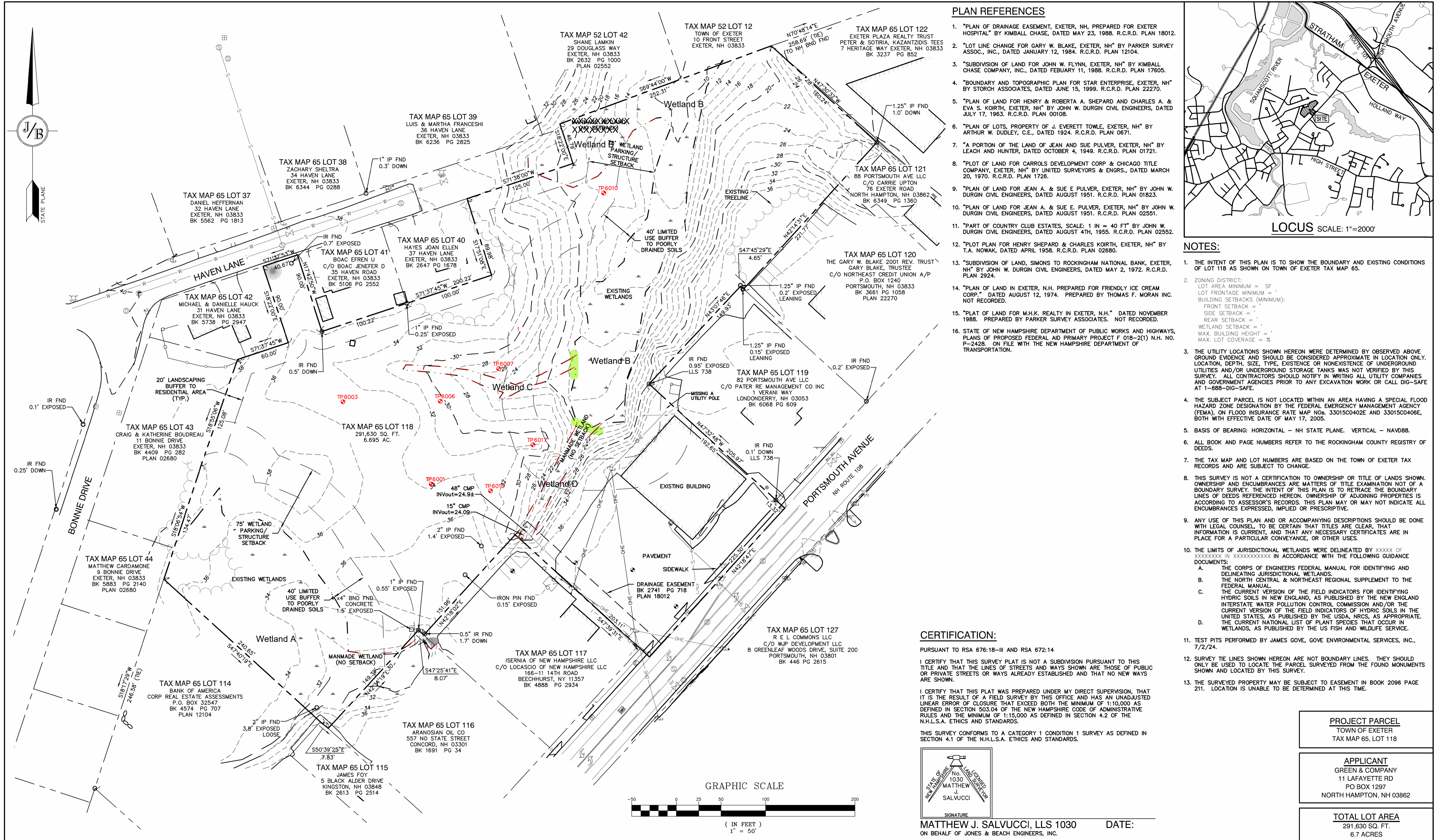


Wetland D



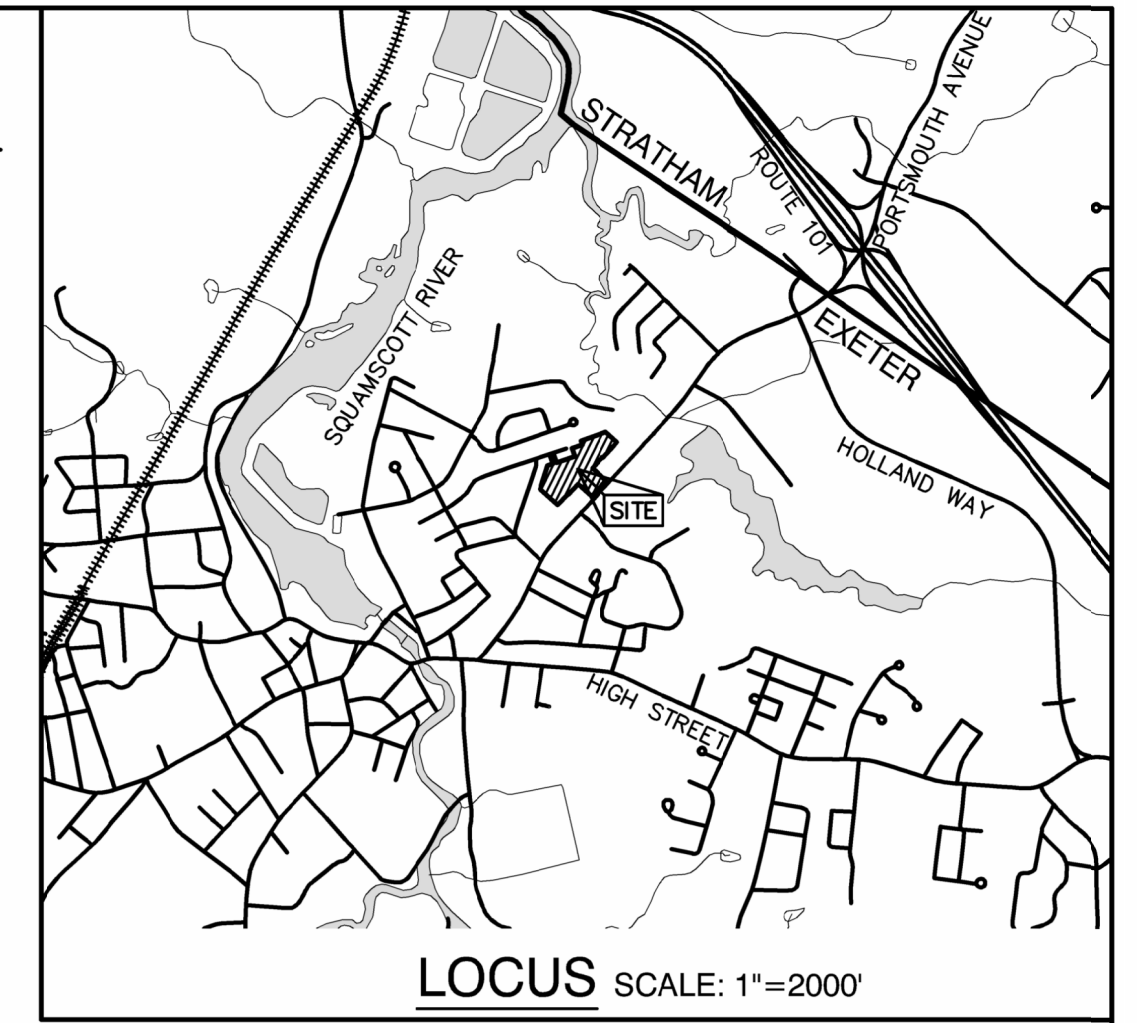
Rock-cobble bottomed stream – perennial flow.  
Man-made ditch, Note tires used to stabilize the slope.





**PLAN REFERENCES**

- "PLAN OF DRAINAGE EASEMENT, EXETER, NH, PREPARED FOR EXETER HOSPITAL" BY KIMBALL CHASE, DATED MAY 23, 1988. R.C.R.D. PLAN 18012.
- "LOT LINE CHANGE FOR GARY W. BLAKE, EXETER, NH" BY PARKER SURVEY ASSOC., INC., DATED JANUARY 12, 1984. R.C.R.D. PLAN 12104.
- "SUBDIVISION OF LAND FOR JOHN W. FLYNN, EXETER, NH" BY KIMBALL CHASE COMPANY, INC., DATED FEBRUARY 11, 1988. R.C.R.D. PLAN 17605.
- "BOUNDARY AND TOPOGRAPHIC PLAN FOR STAR ENTERPRISE, EXETER, NH" BY STORCH ASSOCIATES, DATED JUNE 15, 1999. R.C.R.D. PLAN 22270.
- "PLAN OF LAND FOR HENRY & ROBERTA A. SHEPARD AND CHARLES A. & EVA S. KOIRTH, EXETER, NH" BY JOHN W. DURGIN CIVIL ENGINEERS, DATED JULY 17, 1963. R.C.R.D. PLAN 00108.
- "PLAN OF LOTS, PROPERTY OF J. EVERETT TOWLE, EXETER, NH" BY ARTHUR W. DUDLEY, C.E., DATED 1924. R.C.R.D. PLAN 0671.
- "A PORTION OF THE LAND OF JEAN AND SUE PULVER, EXETER, NH" BY LEACH AND HUNTER, DATED OCTOBER 4, 1949. R.C.R.D. PLAN 01721.
- "PLOT OF LAND FOR CARROLLS DEVELOPMENT CORP & CHICAGO TITLE COMPANY, EXETER, NH" BY UNITED SURVEYORS & ENGRS., DATED MARCH 20, 1970. R.C.R.D. PLAN 1726.
- "PLAN OF LAND FOR JEAN A. & SUE E. PULVER, EXETER, NH" BY JOHN W. DURGIN CIVIL ENGINEERS, DATED AUGUST 1951. R.C.R.D. PLAN 01823.
- "PLAN OF LAND FOR JEAN A. & SUE E. PULVER, EXETER, NH" BY JOHN W. DURGIN CIVIL ENGINEERS, DATED AUGUST 1951. R.C.R.D. PLAN 02551.
- "PART OF COUNTRY CLUB ESTATES, SCALE: 1 IN = 40 FT" BY JOHN W. DURGIN CIVIL ENGINEERS, DATED AUGUST 4TH, 1955. R.C.R.D. PLAN 02552.
- "PLOT PLAN FOR HENRY SHEPARD & CHARLES KOIRTH, EXETER, NH" BY T.A. NOWAK, DATED APRIL 1958. R.C.R.D. PLAN 02680.
- "SUBDIVISION OF LAND, SIMONS TO ROCKINGHAM NATIONAL BANK, EXETER, NH" BY JOHN W. DURGIN CIVIL ENGINEERS, DATED MAY 2, 1972. R.C.R.D. PLAN 2924.
- "PLAN OF LAND IN EXETER, N.H. PREPARED FOR FRIENDLY ICE CREAM CORP." DATED AUGUST 12, 1974. PREPARED BY THOMAS F. MORAN INC. NOT RECORDED.
- "PLAT OF LAND FOR M.H.K. REALTY IN EXETER, N.H." DATED NOVEMBER 1988. PREPARED BY PARKER SURVEY ASSOCIATES. NOT RECORDED.
- STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, PLANS OF PROPOSED FEDERAL AID PRIMARY PROJECT F 018-2(1) N.H. NO. P-2428. ON FILE WITH THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.



**NOTES:**

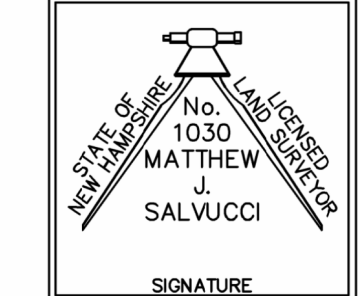
- THE INTENT OF THIS PLAN IS TO SHOW THE BOUNDARY AND EXISTING CONDITIONS OF LOT 118 AS SHOWN ON TOWN OF EXETER TAX MAP 65.
- ZONING DISTRICT:  
LOT AREA MINIMUM = SF  
LOT FRONTAGE MINIMUM = FT  
BUILDING SETBACKS (MINIMUM):  
FRONT SETBACK = FT  
SIDE SETBACK = FT  
REAR SETBACK = FT  
WETLAND SETBACK = FT  
MAX. BUILDING HEIGHT = FT  
MAX. LOT COVERAGE = %
- THE UTILITY LOCATIONS SHOWN HEREON WERE DETERMINED BY OBSERVED ABOVE GROUND EVIDENCE AND SHOULD BE CONSIDERED APPROXIMATE IN LOCATION ONLY. LOCATION, DEPTH, SIZE, TYPE, EXISTENCE OR NONEXISTENCE OF UNDERGROUND UTILITIES AND/OR UNDERGROUND STORAGE TANKS WAS NOT VERIFIED BY THIS SURVEY. ALL CONTRACTORS SHOULD NOTIFY IN WRITING ALL UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO ANY EXCAVATION WORK OR CALL DIG-SAFE AT 1-888-DIG-SAFE.
- THE SUBJECT PARCEL IS NOT LOCATED WITHIN AN AREA HAVING A SPECIAL FLOOD HAZARD ZONE DESIGNATION BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 33015C0402E AND 33015C0406E, BOTH WITH EFFECTIVE DATE OF MAY 17, 2005.
- BASIS OF BEARING: HORIZONTAL - NH STATE PLANE. VERTICAL - NAVD88.
- ALL BOOK AND PAGE NUMBERS REFER TO THE ROCKINGHAM COUNTY REGISTRY OF DEEDS.
- THE TAX MAP AND LOT NUMBERS ARE BASED ON THE TOWN OF EXETER TAX RECORDS AND ARE SUBJECT TO CHANGE.
- THIS SURVEY IS NOT A CERTIFICATION TO OWNERSHIP OR TITLE OF LANDS SHOWN. OWNERSHIP AND ENCUMBRANCES ARE MATTERS OF TITLE EXAMINATION NOT OF A BOUNDARY SURVEY. THE INTENT OF THIS PLAN IS TO RETRACE THE BOUNDARY LINES OF DEEDS REFERENCED HEREON. OWNERSHIP OF ADJOINING PROPERTIES IS ACCORDING TO ASSESSOR'S RECORDS. THIS PLAN MAY OR MAY NOT INDICATE ALL ENCUMBRANCES EXPRESSED, IMPLIED OR PRESRIPTIVE.
- ANY USE OF THIS PLAN AND OR ACCOMPANYING DESCRIPTIONS SHOULD BE DONE WITH LEGAL COUNSEL. TO BE CERTAIN THAT TITLES ARE CLEAR, THAT INFORMATION IS CURRENT, AND THAT ANY NECESSARY CERTIFICATIONS ARE IN PLACE FOR A PARTICULAR CONVEYANCE, OR OTHER USES.
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY XXXXX OF XXXXXXXX IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:  
A. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.  
B. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.  
C. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.  
D. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- TEST PITS PERFORMED BY JAMES GOVE, GOVE ENVIRONMENTAL SERVICES, INC., 7/2/24.
- SURVEY TIE LINES SHOWN HEREON ARE NOT BOUNDARY LINES. THEY SHOULD ONLY BE USED TO LOCATE THE PARCEL SURVEYED FROM THE FOUND MONUMENTS SHOWN AND LOCATED BY THIS SURVEY.
- THE SURVEYED PROPERTY MAY BE SUBJECT TO EASEMENT IN BOOK 2096 PAGE 211. LOCATION IS UNABLE TO BE DETERMINED AT THIS TIME.

**CERTIFICATION:**

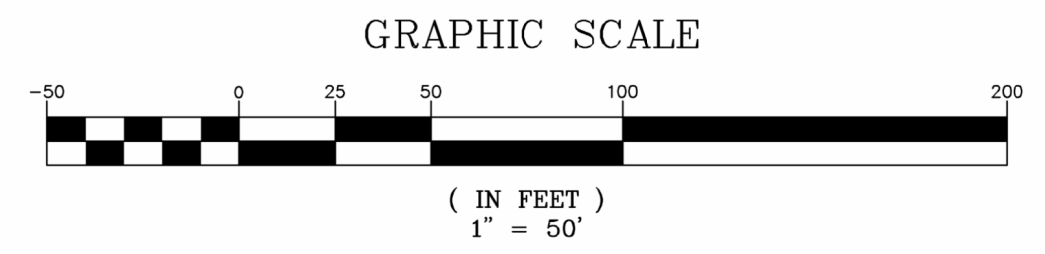
PURSUANT TO RSA 676:18-III AND RSA 672:14  
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT IT IS THE RESULT OF A FIELD SURVEY BY THIS OFFICE, AND HAS AN UNADJUSTED LINEAR ERROR OF CLOSURE THAT EXCEEDS BOTH THE MINIMUM OF 1:10,000 AS DEFINED IN SECTION 503.04 OF THE NEW HAMPSHIRE CODE OF ADMINISTRATIVE RULES AND THE MINIMUM OF 1:15,000 AS DEFINED IN SECTION 4.2 OF THE N.H.L.S.A. ETHICS AND STANDARDS.

THIS SURVEY CONFORMS TO A CATEGORY 1 CONDITION 1 SURVEY AS DEFINED IN SECTION 4.1 OF THE N.H.L.S.A. ETHICS AND STANDARDS.



MATTHEW J. SALVUCCI, LLS 1030 DATE:  
ON BEHALF OF JONES & BEACH ENGINEERS, INC.



Design: MLS	Draft: GDR	Date: 3/15/24
Checked: WGM	Scale: 1"=50'	Project No.: 24029
Drawing Name: 24029-CONCEPT-6.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
3	8/19/24	PLAN SET	KDR
2	7/29/24	CONCEPT 3	KDR
1	6/6/24	REVISED PER CLIENT	PSL
0	4/11/24	ISSUED FOR REVIEW	PSL
REV.	DATE	REVISION	BY

Designed and Produced in NH  
**J/B Jones & Beach Engineers, Inc.**  
 85 Portsmouth Ave. Civil Engineering Services 603-772-4746  
 PO Box 219 Stratham, NH 03885 E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	<b>EXISTING CONDITIONS PLAN</b>
Project:	NAME OF PROJECT 76 PORTSMOUTH AVE, EXETER, NH
Owner of Record:	RAP REALTY MANCHESTER LLC 50 ATLANTIC AVE, SEABROOK, NH

DRAWING No.	<b>C1</b>
SHEET 2 OF 12	JBE PROJECT NO. 24029

<b>PROJECT PARCEL</b> TOWN OF EXETER TAX MAP 65, LOT 118
<b>APPLICANT</b> GREEN & COMPANY 11 LAFAYETTE RD PO BOX 1297 NORTH HAMPTON, NH 03862
<b>TOTAL LOT AREA</b> 291,630 SQ. FT. 6.7 ACRES

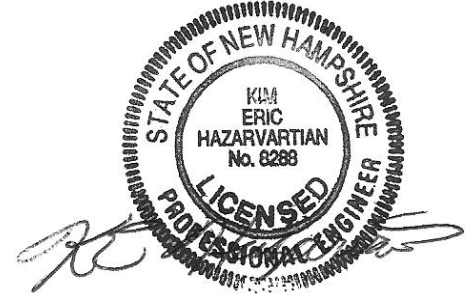




**MEMORANDUM**

93 Stiles Road, Suite 201, Salem, New Hampshire 03079 USA  
800 Turnpike Street, Suite 300, North Andover, Massachusetts 01845 USA  
Phone (603) 212-9133 and Fax (603) 226-4108  
Email [tepp@teppllc.com](mailto:tepp@teppllc.com) and Web [www.teppllc.com](http://www.teppllc.com)

Ref: 1710  
Subject: Traffic Assessment  
76 Portsmouth Avenue  
Exeter, New Hampshire  
From: Kim Eric Hazarvartian, Ph.D., P.E., PTOE  
Principal  
[keh@teppllc.com](mailto:keh@teppllc.com)  
Date: November 5, 2024

**INTRODUCTION**

TEPP LLC has prepared this traffic-assessment memorandum (TAM) regarding the following redevelopments in the Town of Exeter, New Hampshire:

- a residential redevelopment off Haven Lane
- a mixed-use redevelopment at 76 Portsmouth Avenue

The proposed residential redevelopment will provide:

- 34 townhouse units
- two driveways along the south side of Haven Lane east of Bonnie Lane
- no direct vehicular connection with the proposed mixed-use redevelopment
- no direct vehicular connection with Portsmouth Avenue

The proposed mixed-use redevelopment will:

- remove one automobile-parts store with a floor area of about 9,680 square feet (sf)
- provide 36 multi-family units
- provide about 4,418-sf of commercial floor area
- provide no direct vehicular connection with the proposed residential redevelopment
- provide no direct vehicular connection with Haven Lane

This TAM concludes that:

- tabulated changes in peak-hour trip generation due to each of the proposed redevelopments are below a national level for considering traffic-impact analysis (the guideline states at least 100 peak-hour vehicle trips in the busier direction, versus +3 to +10 tabulated for the proposed residential redevelopment and -35 to +22 tabulated for the proposed mixed-use redevelopment)
- tabulated site-traffic volumes indicate very minimal impact on Haven Lane and overall due to the proposed residential redevelopment
- tabulated site-traffic volumes indicate very minimal impact on Portsmouth Avenue and its driveway and very minimal impact overall due to the proposed mixed-use redevelopment
- a full traffic-impact and access study is not necessary

The proposed residential redevelopment and the proposed mixed-use redevelopment show no direct vehicular connection between one another or between Haven Lane and Portsmouth Avenue. This configuration beneficially helps keep traffic (especially commercial traffic) on Portsmouth Avenue and off Haven Lane. The separate driveways also beneficially split site traffic, reducing volumes at each driveway and its intersection with Haven Lane or Portsmouth Avenue.

## **PROPOSED RESIDENTIAL REDEVELOPMENT**

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### **TRIP GENERATION**

The Institute of Transportation Engineers (ITE) publishes trip-generation information in the authoritative *Trip Generation Manual*.<sup>1</sup> This information is based on empirical data for a variety of land uses including land use 215, single-family-attached housing, based on dwelling units.<sup>2</sup>

Table 1 shows vehicle-trips due to the proposed residential redevelopment as:

- weekday daily, 209 vehicle-trips (total of in and out)
- weekday AM-street-peak hour, 12 vehicle-trips (3 in and 9 out)
- weekday PM-street-peak hour, 16 vehicle-trips (10 in and 6 out)
- Saturday daily, 298 vehicle-trips (total of in and out)
- Saturday site-peak hour, 19 vehicle-trips (9 in and 10 out)

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<sup>1</sup> ITE, *Trip Generation Manual*, 11<sup>th</sup> Edition (Washington DC, September 2021).

<sup>2</sup> ITE, *Trip Generation Manual*, Volume 3, pages 237 to 251.

**Table 1. Calculated trip generation for proposed residential redevelopment.**

	Proposed Vehicle-Trips <sup>a</sup>		
	Total	In	Out
Weekday Daily	209	---	---
Weekday AM-Street-Peak Hour	12	3	9
Weekday PM-Street-Peak Hour	16	10	6
Saturday Daily	298	---	---
Saturday Site-Peak Hour	19	9	10

<sup>a</sup> Based on ITE, *Trip Generation Manual*, land use 215, single-family-attached housing, 34 dwelling units.

**POTENTIAL TRAFFIC IMPACTS**

ITE suggests that land developments generating at least 100 peak-hour vehicle trips, in the busier direction, are candidates for consideration of traffic-impact analysis.<sup>3</sup> Tabulated changes in peak-hour trip generation due to each of the proposed redevelopments are below this national ITE level. The guideline states at least 100 peak-hour vehicle trips in the busier direction, versus +3 to +10 tabulated for the proposed residential redevelopment.

**TRAFFIC INCREASES**

The proposed residential redevelopment contributes the following tabulated vehicle-trips to Haven Lane:

- weekday AM-street-peak hour, +12 vehicle-trips (+3 in and +9 out)
- weekday PM-street-peak hour, +16 vehicle-trips (+10 in and +6 out)
- Saturday site-peak hour, +19 vehicle-trips (+9 in and +10 out)

The above shows average changes per direction of about:

- weekday AM-street-peak hour, +1 vehicle-trip per 10 minutes
- weekday PM-street-peak hour, +1 vehicle-trip per seven minutes
- Saturday site-peak hour, +1 vehicle-trip per six minutes

The above indicates very minimal impact on Haven Lane due to the proposed residential redevelopment.

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<sup>3</sup> ITE, *Manual of Transportation Engineering Studies*, page 144.

**PROPOSED MIXED-USE REDEVELOPMENT**

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**TRIP GENERATION**

ITE trip-generation information includes:

- land use 843, automobile-parts sales, based on floor area<sup>4</sup>
- land use 222, multi-family housing (low-rise), based on dwelling units<sup>5</sup>
- land use 822, strip-retail plaza, less than 40,000-sf floor area, based on floor area<sup>6</sup>

Table 2 shows vehicle-trips due to the proposed mixed-use redevelopment as:

- weekday daily, 19 vehicle-trips (total of in and out)
- weekday AM-street-peak hour, 20 vehicle-trips (1 in and 19 out)
- weekday PM-street-peak hour, 33 vehicle-trips (22 in and 11 out)
- Saturday daily, -123 vehicle-trips (total of in and out)
- Saturday site-peak hour, -68 vehicle-trips (-35 in and -33 out)

Table 2 is conservative in that it does not show reductions due to internal trips between the proposed residential and commercial land uses. Also, the dwelling units have one bedroom each, which could result in lower trip generation.

**TRAFFIC INCREASES**

The proposed mixed-used redevelopment contributes the following tabulated vehicle-trips to Portsmouth Avenue:

- weekday AM-street-peak hour, +20 vehicle-trips (+1 in and +19 out)
- weekday PM-street-peak hour, +33 vehicle-trips (+22 in and +11 out)
- Saturday site-peak hour, -68 vehicle-trips (-35 in and -33 out)

The above shows average changes per driveway turning movement of about:

- weekday AM-street-peak hour, +1 vehicle-trip per 12 minutes
- weekday PM-street-peak hour, +1 vehicle-trip per seven minutes
- Saturday site-peak hour, -1 vehicle-trip per four minutes

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<sup>4</sup> ITE, *Trip Generation Manual*, Volume 5, pages 292 to 309.

<sup>5</sup> ITE, *Trip Generation Manual*, Volume 3, pages 252 to 272.

<sup>6</sup> ITE, *Trip Generation Manual*, Volume 5, pages 228 to 241.

**Table 2. Calculated trip generation for proposed mixed-use redevelopment.**

	Vehicle-Trips					
	Existing <sup>a</sup>	Proposed			Total	Difference
		Residential <sup>b</sup>	Commercial <sup>c</sup>			
Weekday Daily	528	306	241	547	19	
Weekday AM-Street-Peak Hour						
In	13	8	6	14	1	
<u>Out</u>	<u>11</u>	<u>26</u>	<u>4</u>	<u>30</u>	<u>19</u>	
Total	24	34	10	44	20	
Weekday PM-Street-Peak Hour						
In	23	23	22	45	22	
<u>Out</u>	<u>24</u>	<u>13</u>	<u>22</u>	<u>35</u>	<u>11</u>	
Total	47	36	44	80	33	
Saturday Daily	528	164	241	405	-123	
Saturday Site-Peak Hour						
In	57	7	15	22	-35	
<u>Out</u>	<u>55</u>	<u>8</u>	<u>14</u>	<u>22</u>	<u>-33</u>	
Total	112	15	29	44	-68	

<sup>a</sup> Based on ITE, *Trip Generation Manual*, land use 843, automobile-parts store, 9,680-sf floor area. Weekday daily used as estimate for Saturday daily.

<sup>b</sup> Based on ITE, *Trip Generation Manual*, land use 220, multi-family housing (low-rise), 36 dwelling units. Saturday site-peak hour in versus out is estimated. The dwelling units have one bedroom each, which could result in lower trip generation.

<sup>c</sup> Based on ITE, *Trip Generation Manual*, land use 822, strip-retail plaza, less than 40,000-sf floor area, 4,418-sf floor area. Weekday daily used as estimate for Saturday daily. The actual land use could have lower trip generation.

The above indicates very minimal impact on Portsmouth Avenue due to the proposed mixed-use redevelopment.

**POTENTIAL TRAFFIC IMPACTS**

ITE suggests that land developments generating at least 100 peak-hour vehicle trips, in the busier direction, are candidates for consideration of traffic-impact analysis.<sup>7</sup> Tabulated changes in peak-hour trip generation due to each of the proposed redevelopments are below this national ITE level. The guideline states at least 100 peak-hour vehicle trips in the busier direction, versus -35 to +22 tabulated for the proposed mixed-use redevelopment.

<sup>7</sup> ITE, *Manual of Transportation Engineering Studies*, page 144.

**CONCLUSION**

---

This TAM concludes that:

- tabulated changes in peak-hour trip generation due to each of the proposed redevelopments are below a national level for considering traffic-impact analysis (the guideline states at least 100 peak-hour vehicle trips in the busier direction, versus +3 to +10 tabulated for the proposed residential redevelopment and -35 to +22 tabulated for the proposed mixed-use redevelopment)
- tabulated site-traffic volumes indicate very minimal impact on Haven Lane and overall due to the proposed residential redevelopment
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- a full traffic-impact and access study is not necessary

The proposed residential redevelopment and the proposed mixed-use redevelopment show no direct vehicular connection between one another or between Haven Lane and Portsmouth Avenue. This configuration beneficially helps keep traffic (especially commercial traffic) on Portsmouth Avenue and off Haven Lane. The separate driveways also beneficially split site traffic, reducing volumes at each driveway and its intersection with Haven Lane or Portsmouth Avenue.



# 76 Port Ave.

76 Portsmouth Ave.  
Exeter, NH

Approved SD  
NFC - 103124

LOCUS MAP: (N.T.S.)



**Project Info:**

76 Port Ave.  
76 Portsmouth Ave.  
Exeter, NH  
Approved SD

**Architect of Record:**

T | W Designs, LLC  
254 Drake Hill Rd.  
Strafford, NH 03884  
603-664-2181

**Civil Engineer:**

XXX

**Structural Engineer:**

XXX

**Electrical Engineer:**

XXX

**Mechanical Engineer:**

XXX

**Plumbing Engineer:**

XXX

**Fire Protection Eng.:**

XXX

**Contractor of Record:**

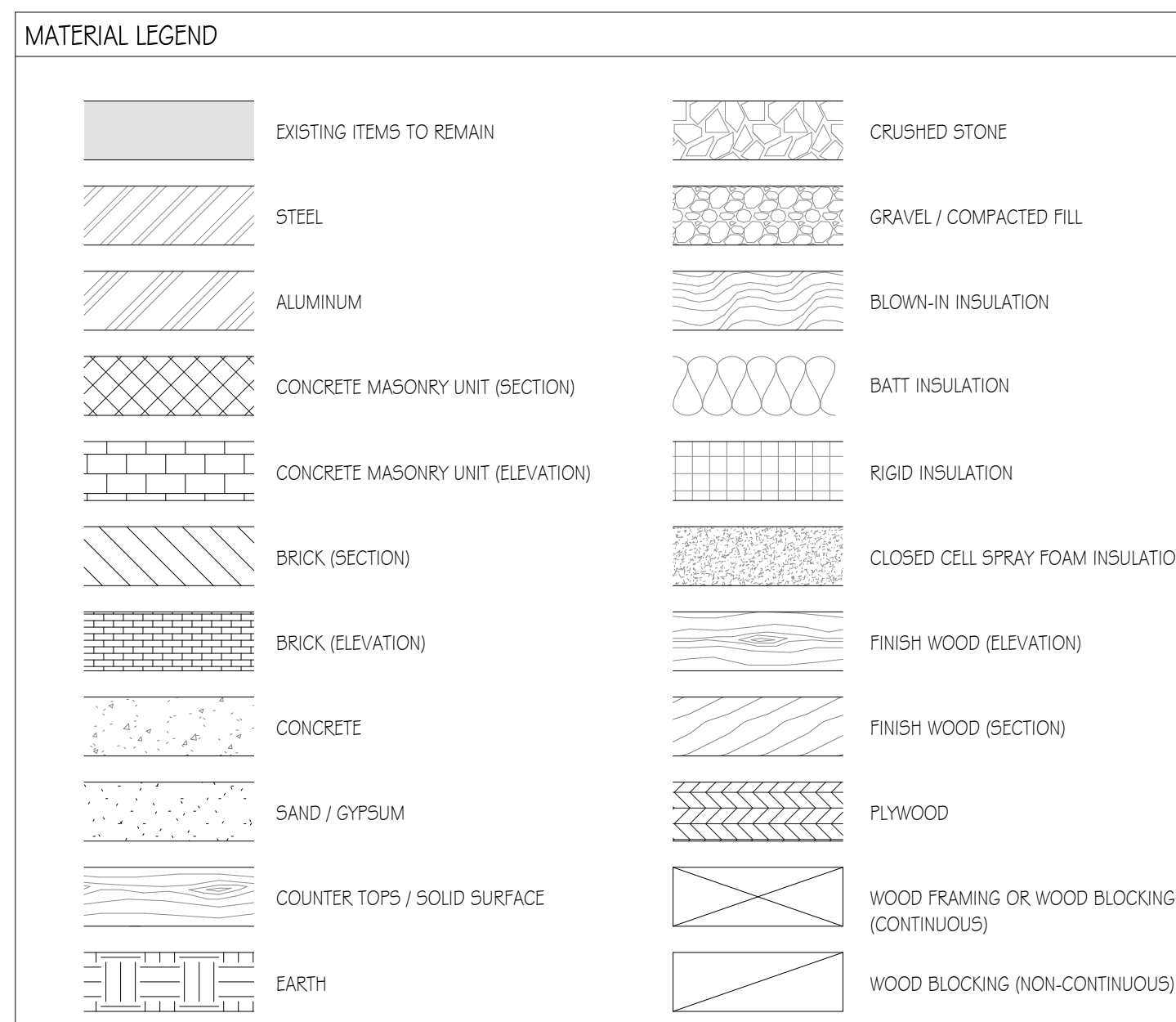
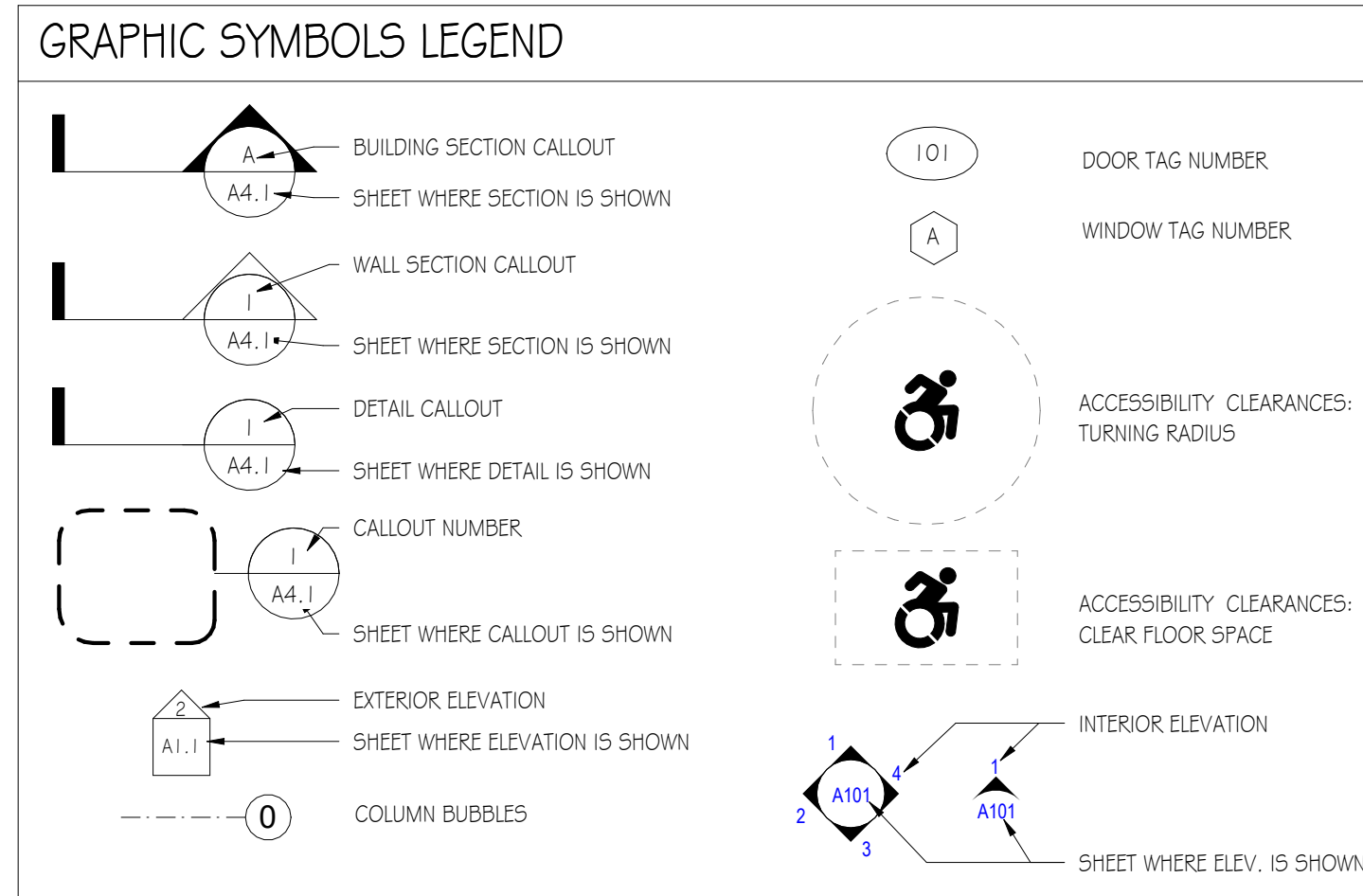
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**Revision Schedule**

No.	Description	Date
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**MASTER ABBREVIATION KEY:**

AB	ANCHOR BOLT	E	EAST	LAM	LAMINATE	S	SOUTH
AC	AIR CONDITIONER	EJ	EXPANSION JOINT	LAV	LAVATORY	S-TRAP	SEDIMENT TRAP
ACI	AMERICAN CONCRETE INSTITUTE	EJC	EXPANSION JOINT COVER	MAS	MASONRY	SC	SOLID CORE
ACoust	ACOUSTIC	EL	ELEVATION	MAT	MATERIAL	SCED	SCHEDULE
AFF	ABOVE FINISH FLOOR	ELEC	ELECTRICAL	MAX	MAXIMUM	SD	STORM DRAIN
ALT	ALTERNATE	ELEV	ELEVATOR	MECH	MECHANICAL	SF	SQUARE FOOT
ALUM	ALUMINUM	EQ	EQUAL	MEM	MEMBRANE	SH	SHOWER
ANCH	ANCHOR	EQUIP	EQUIPMENT	MEP	MECHANICAL, ELECTRICAL, PLUMBING	SHT	SHEET
ANOD	ANODIZED	ER	EMERGENCY ROOM	MTL	METAL	SIM	SIMILAR
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	EST	ESTIMATE	MULL	MULLION	SL	SLIDING
		EWC	ELECTRICAL WATER COOLER	MTTP	METAL TOILET PARTITION	SMR	SINGLE PLY MEMBRANE ROOF
		EXH	EXHAUST	MFR	MANUFACTURER	SPRT/FIN	SPECIAL PAINT FINISH
BD	BOARD	EXIST	EXISTING	MH	MANHOLE	SPEC	SPECIFICATION
BIT	BITUMINOUS	EXP	EXPANSION	MIN	MINIMUM	SPKR	SPEAKER
BL	BUILDING LINE	FAP	FIRE ALARM PANEL	MISC	MISCELLANEOUS	SQ	SQUARE
BLDG	BUILDING	FD	FLOOR DRAIN	MO	MASONRY OPENING	SS	STAINLESS STEEL
BLK	BLOCK	FE	FIRE EXTINGUISHER	MTL	METAL	STA	STATION
BLKG	BLOCKING	FEC	FIRE EXTINGUISHER CABINET	MULL	MULLION	STD	STANDARD
BM	BEAM	FIN	FINISH	N	NORTH	STL	STEEL
BOC	BOTTOM OF CURB	FL	FLOW LINE	NAT	NATURAL	STOR	STORAGE
BOF	BOTTOM OF FOOTING ELEVATION	FLR	FLOOR	NEC	NECESSARY	STRG	STRINGER
BOT	BOTTOM	FND	FOUNDATION	FAP	FACE OF MASONRY	STRUCT	STRUCTURAL
BRG	BEARING	FOF	FACE OF FINISH	NIC	NOT IN CONTRACT	SU	SITE UTILITY
BRK	BRICK	FOM	FACE OF MASONRY	NOM	NOMINAL	SUSP	SUSPEND (SUSPENDED)
BSMT	BASEMENT	FOS	FACE OF STUD	NRC	NOISE REDUCTION COEFFICIENT	SYMM	SYMMETRICAL
BTW	BETWEEN	FR	FIRE RATED	NTS	NOT TO SCALE	SYS	SYSTEM
BUR	BUILT-UP ROOF	FS	FULL SIZE	OC	ON CENTER	T	TREAD
		FT	FOOT	OD	OUTSIDE DIAMETER	TAG	TONGUE & GROOVED
CAB	CABINET	FTG	FOOTING	OFVC	OUTSIDE FACE OF CONCRETE	T/FRM	TOP OF FRAME
CB	CATCH BASIN	FUR	FURRED (FURRING)	OH	OVERHEAD	T/SLB	TOP OF SLAB
CER	CERAMIC	FVC	FIRE VALVE CABINET	OPG	OPENING	TB	TACKBOARD
CF	CUBIC FOOT	GALV	GALVANIZED	OPP	OPPOSITE	TEL	TELEPHONE
CI	CAST IRON	GC	GENERAL CONTRACTOR	OR	OPERATING ROOM	TEMP	TEMPORARY
CJ	CONTROL JOINT	GEN	GENERAL	PL	PROPERTY LINE	TERR	TERRAZZO
CL	CLOSET	GL	GLASS	PLAM	PLASTIC LAMINATE	THK	THICK
CLCB	CURBLESS CATCH BASIN	GLZ	GLAZING	PLAS	PLASTER	THLD	THRESHOLD
CLG	CEILING	GRD	GRADE	PLYWD	PLYWOOD	TOC	TOP OF CURB
CM	CONTRACT MANAGER	GRD	GRADE	PNL	PANEL	TOP	TOP OF FOUNDATION
CMU	CONCRETE MASONRY UNIT	GYP	GYPSPUM	PSF	POUNDS PER SQUARE FOOT	TOS	TOP OF SLAB
		GA	GAUGE	PSI	POUNDS PER SQUARE INCH	TOW	TOP OF WALL ELEVATION
CO	CLEAN OUT	HAV	HEATING & VENTILATING	PT	PAINT	TR	TO REMAIN
COL	COLUMN	HC	HANDICAP	PTD	PAINTED	TYP	TYPICAL
COMP	COMPACTED (COMPOSITION)	HDWD	HARDWOOD	PTN	PARTITION	UH	UNIT HEATER
CONC	CONCRETE	HGT	HEIGHT	PVC	POLYVINYL CHLORIDE	UL	UNDERWRITERS LABORATORIES, INC.
CONST	CONSTRUCTION	HM	HOLLOW METAL	QT	QUARRY TILE	UOD	UNDERSIDE OF DECK
CONT	CONTINUOUS	HP	HIGH POINT	R	RADIUS	UON	UNLESS OTHERWISE NOTED
CONTR	CONTRACTOR	HVAC	HEATING, VENTILATION, AIR CONDITIONING	R	RADIUS	UR	URINAL
CORR	CORRUGATED	HWH	HOT WATER HEATER	R	RADIUS	UV	UNIT VENTILATOR
CP	CONTROL PANEL	ID	INSIDE DIAMETER	R	RADIUS	VAR	VARIABLE OR VARIABLE
CSG	CASING	IN	INCH	R	RADIUS	VB	VINYL BASE
CSMT	CASEMENT	INSUL	INSULATION	R	RADIUS	VCT	VINYL COMPOSITION TILE
CT	CERAMIC TILE	INT	INTERIOR	RC	REINFORCED CONCRETE	VERT	VERTICAL
CTR	CENTER	INV	INVERT	RD	ROUGH DRAIN	VEST	VESTIBULE
CY	CUBIC YARD	JC	JANITORS CLOSET	REF	REFERENCE	VIF	VERIFY IN FIELD
		JST	JOIST	REFR	REFRIGERATOR	VNR	VENEER
		JT	JOINT	REINF	REINFORCE	VOL	VOLUME
				REQD	REQUIRED	W	WEST
				ROUGH	ROUGH	WI	WITH
				RL	RAIN LEADER	WC	WATER CLOSET
				RM	ROOM	WD	WOOD
				RO	ROUGH OPENING	WDW	WINDOW
				ROW	RIGHT OF WAY	WGL	WIRE GLASS
				RQMT	REQUIREMENT	WP	WEATHERPROOF (WATERPROOFING)
						WWF	WELDED WIRE FABRIC



**DRAWING SHEET INDEX:**

Sheet	Sheet Name	Issued	Revision	Revision Date
PCS	PROJECT COVER SHEET	NFC - 10/31/24		
A1.1	OVERALL FLOOR PLAN	NFC - 10/31/24		
A1.2	OVERALL FLOOR PLAN	NFC - 10/31/24		
A1.3	UNIT FLOOR PLAN	NFC - 10/31/24		
A3.1	EXTERIOR ELEVATION DESIGN OPTION A	NFC - 10/31/24		
A7.1	STREET SCAPE VIEW	NFC - 10/31/24		
A7.2	RESIDENCE ENTRANCE	NFC - 10/31/24		

**GENERAL NOTES:**

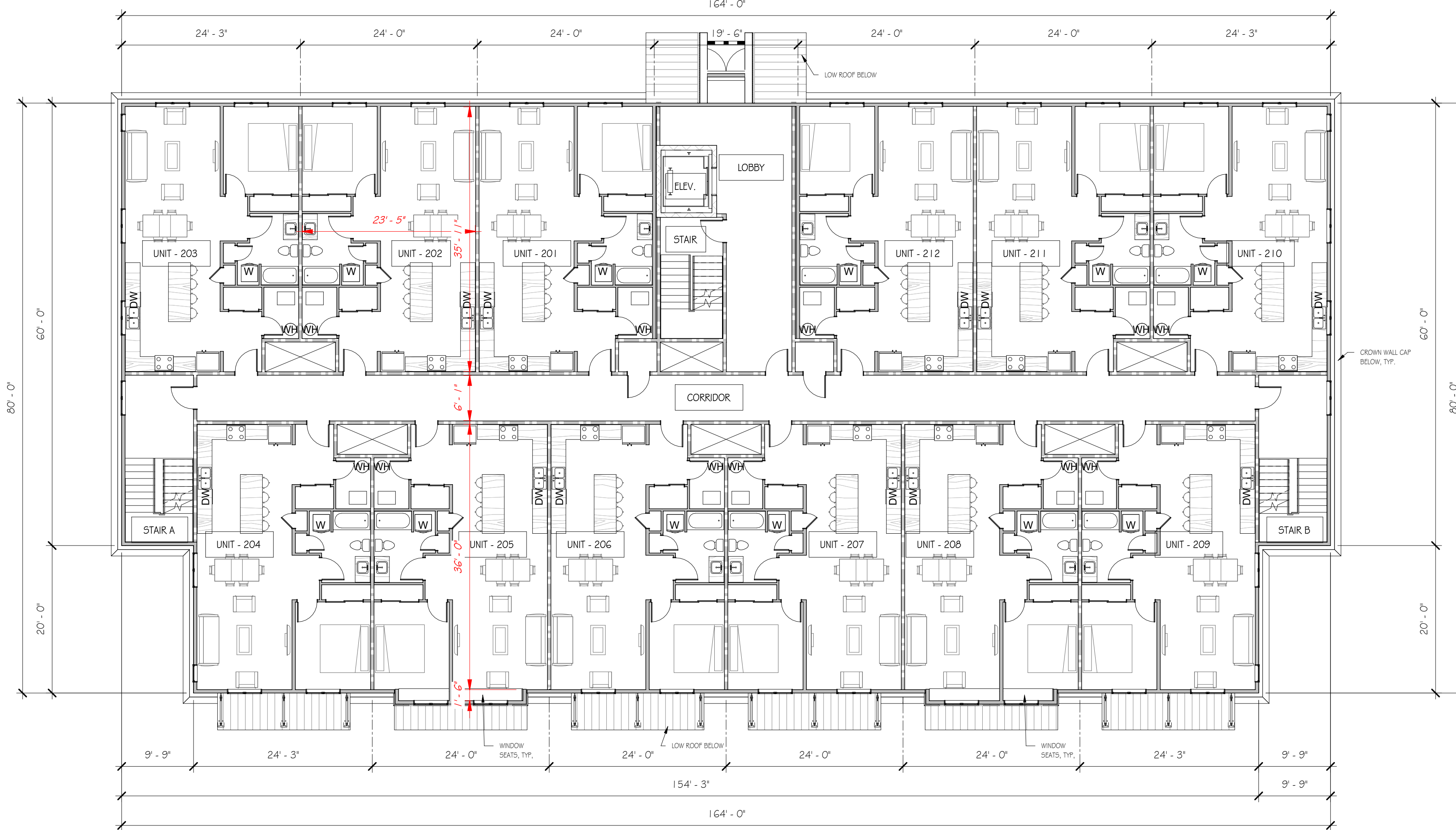
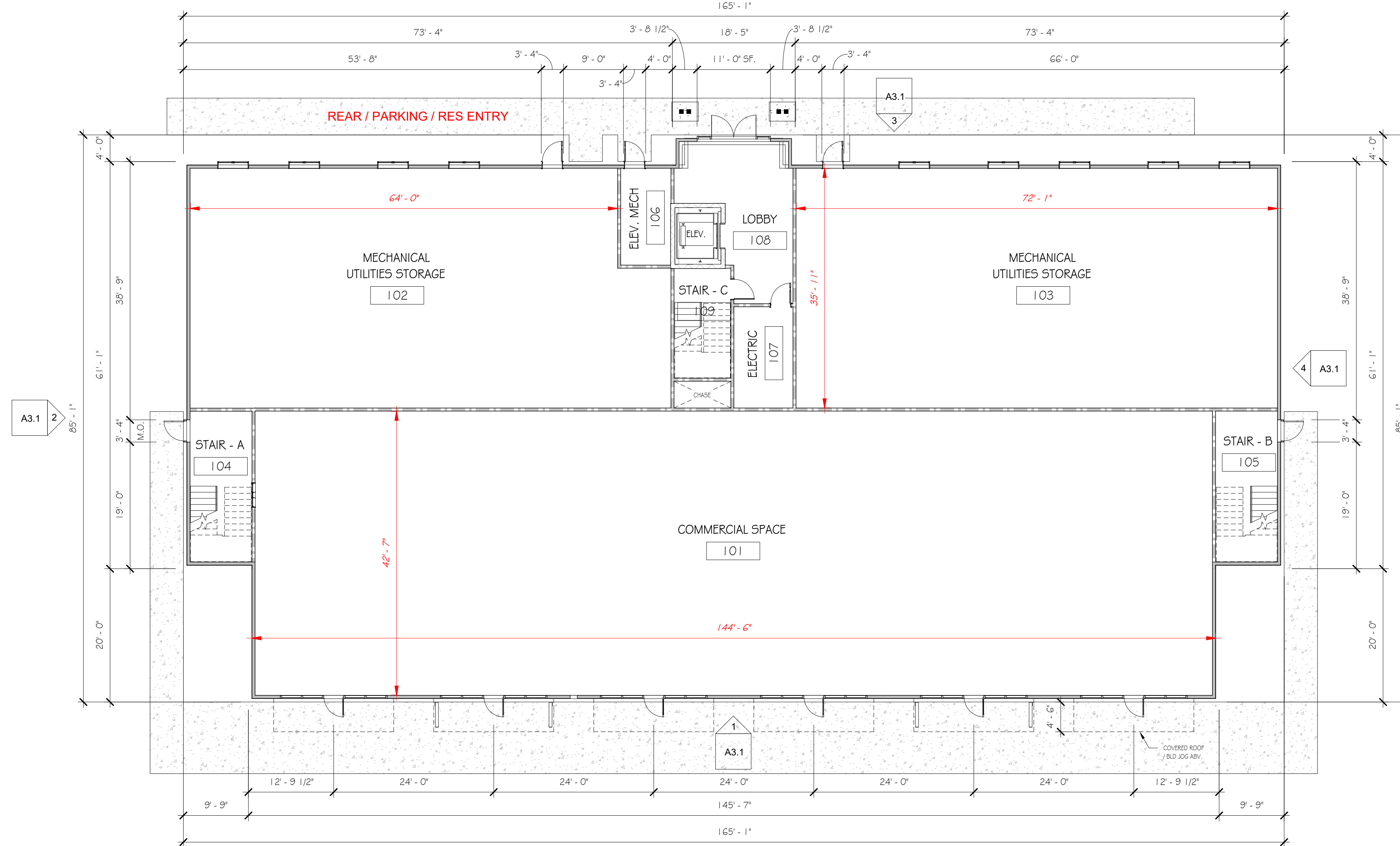
- DO NOT SCALE DRAWING OR DIMENSIONS. FOR MISSING DIMENSIONS OR DIMENSIONS IN CONFLICT, CONTACT THE CONTRACTOR IMMEDIATELY BEFORE CONTINUING WITH WORK.
- ANY DISCREPANCIES IN THESE PLANS WILL BE BROUGHT TO THE CONTRACTOR'S ATTENTION IN WRITING IMMEDIATELY.
- REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DESIGN-BUILD PLANS AND SPECIFICATION FOR LOCATIONS OF ALL BLOCK OUTS, INSERTS, OPENINGS, CURBS, BASES, & PADS THAT ARE NOT DIMENSIONED OR SHOWN ON CONTRACTOR'S DWG'S, OR STRUCTURAL DWG'S.
- STRUCTURAL STEEL, MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION PLANS AND SPECIFICATION SHALL BE PROVIDED AND ARE THE RESPONSIBILITY OF THESE RESPECTIVE SUBCONTRACTORS IF NOT CARRIED IN ARCHITECTURAL SERVICES.
- ALL CONSTRUCTION SHALL CONFORM TO AND BE IN ACCORDANCE WITH THE REGULATOR REQUIREMENTS MANDATED BY ALL FEDERAL, STATE AND LOCAL AUTHORITIES HAVING JURISDICTION IN ACCORDANCE TO THE STATE IN WHICH THE WORK IS PERFORMED (STATE BUILDING CODE, STATE LIFE SAFETY & FIRE CODE ETC.).
- THE CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS, AND SHALL CONFIRM WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED IN WRITING TO THE ARCHITECT FOR CLARIFICATION.
- DIMENSIONS ARE FROM EXTERIOR FACE OF FOUNDATION, VENEER, OR WALL STUD AND TO CENTER OF ALL INTERIOR STUD WALLS OR FACE OF INTERIOR MASONRY. UNLESS NOTED OTHERWISE.
- CLEAR DIMENSIONS ARE FROM FACE TO FACE OF WALL FINISH, UNLESS NOTED OTHERWISE.
- REFER TO MECHANICAL DRAWINGS / SPEC. FOR ALL SIZES AND LOCATIONS OF MECHANICAL DUCT WORK.
- UNLESS OBVIOUSLY SHOWN OTHERWISE, DOOR LOCATIONS NOT DESIGNATED BY WRITTEN DIMENSION SHALL BE CENTERED IN THE WALL OR SHALL BE LOCATED FOUR (4) INCHES FROM FINISH WALL TO EDGE OF DOOR JAMB, PER PLAN.
- PROVIDE METAL CORNER BEAD AT ALL OUTSIDE CORNERS OF PLASTERED OR DRYWALL SURFACES, UNLESS NOTED OTHERWISE.
- PENETRATIONS OF ALL FIRE RATED ASSEMBLIES SHALL BE PROTECTED BY LIKE RATED CONSTRUCTION DAMPERS, SEALANTS, COLLARS, ETC., TYPICAL.
- CONTRACTOR SHALL FURNISH, LOCATE AND INSTALL ALL ACCESS PANELS AS REQUIRED AFTER INSTALLATION OF MECHANICAL DUCTS, PLUMBING AND ELECTRICAL WORK, FIRE RATED AS REQUIRED.
- FURNISH AND INSTALL SOLID BLOCKING BEHIND ALL WALL HUNG MILLWORK ITEMS, RAILS, FIXTURES, GRAB BARS, ETC., WHERE INDICATED OR REQUIRED.
- CONTRACTOR SHALL LAYOUT OR MARK ALL EQUIPMENT, SYSTEMS AND MILLWORK ON THE FLOOR FOR ARCHITECT OR OWNER'S APPROVAL PRIOR TO BEGINNING CEILING / OVER HEAD WORK.
- ALL SPRINKLER HEAD LOCATIONS, MAINS, BRANCHES AND RISER PIPE LOCATIONS MUST BE COORDINATED WITH THE DESIGN / BUILD CONTRACTOR PRIOR TO WORK.
- FURNISH AND INSTALL FIRE EXTINGUISHERS IN TYPE, QUANTITY, AND LOCATION PER LOCAL FIRE DEPARTMENT, TYPICAL.
- CONTRACTOR SHALL VERIFY, COORDINATE LOCATION WITH THE ARCHITECT ANY SMOKE, CARBON MONOXIDE DETECTOR OR FIRE ALARM DEVICE AS REQUIRED BY THE LOCAL FIRE DEPARTMENT.
- FURNISH & INSTALL FIRE DAMPERS WITH FUSIBLE LOUVER WHEREVER DUCT WORK PENETRATES ONE OR TWO HOUR CEILINGS OR WALLS. TYPICAL UNLESS NOTED OTHERWISE.
- PROVIDE PLASTER AND GYPSUM WALL BOARD CONTROL JOINTS AT 30'-0" ON CENTER FROM FLOOR TO CEILING, OR AS NOTED ON THE CONSTRUCTION DOCUMENTS. VERIFY IN FIELD WITH ARCHITECT PRIOR TO WORK.

PROJECT  
COVER SHEET

SHEET NUMBER

PCS





No.	Description	Date
Revision Schedule		

Project Info:  
**76 Port Ave.**

76 Portsmouth Ave.  
Exeter, NH

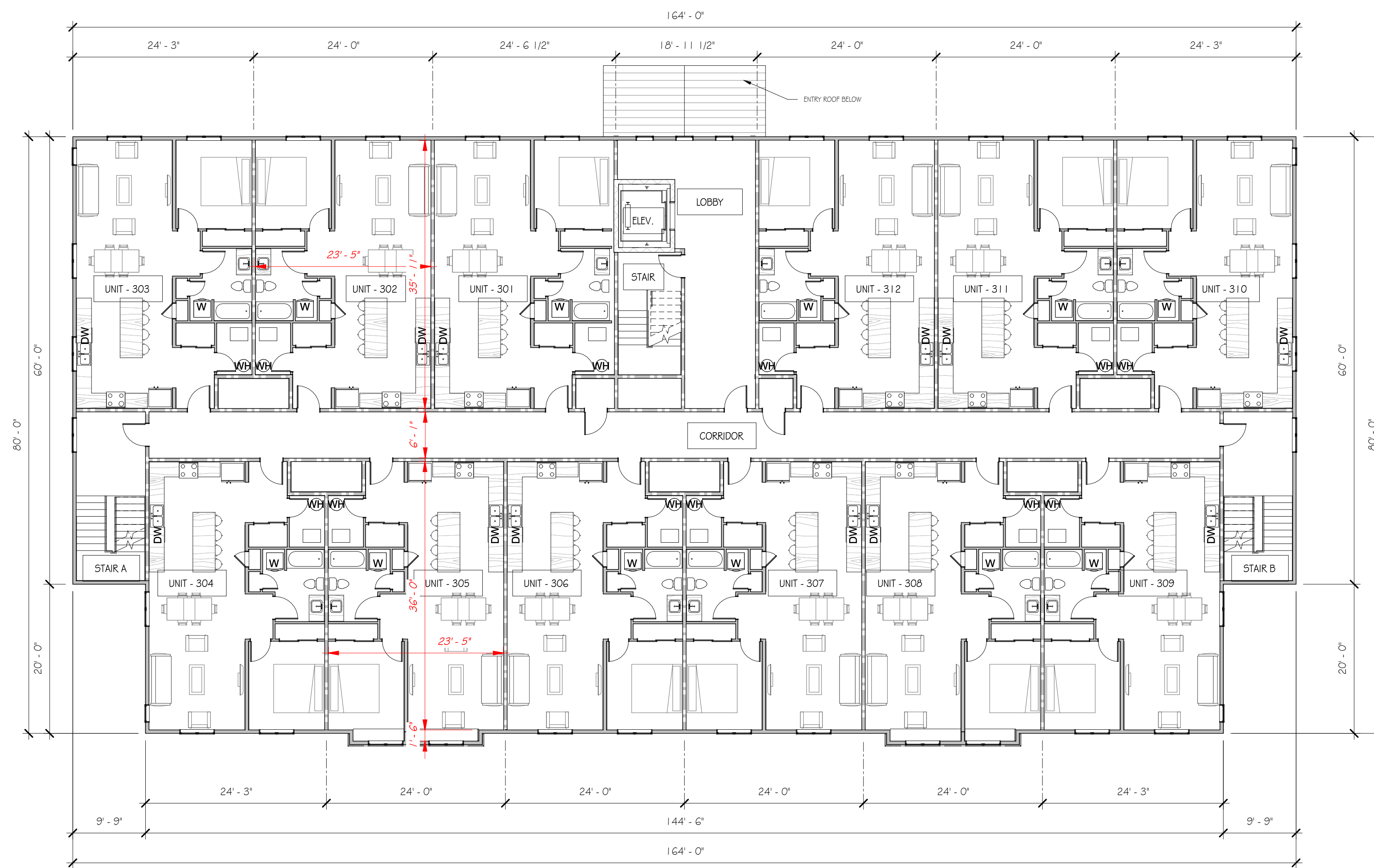
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Latest Release:  
Issued For: Approved SD  
Org. Issue Date: NFC - 103124

JOB NO:  
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CHECKED: JMT  
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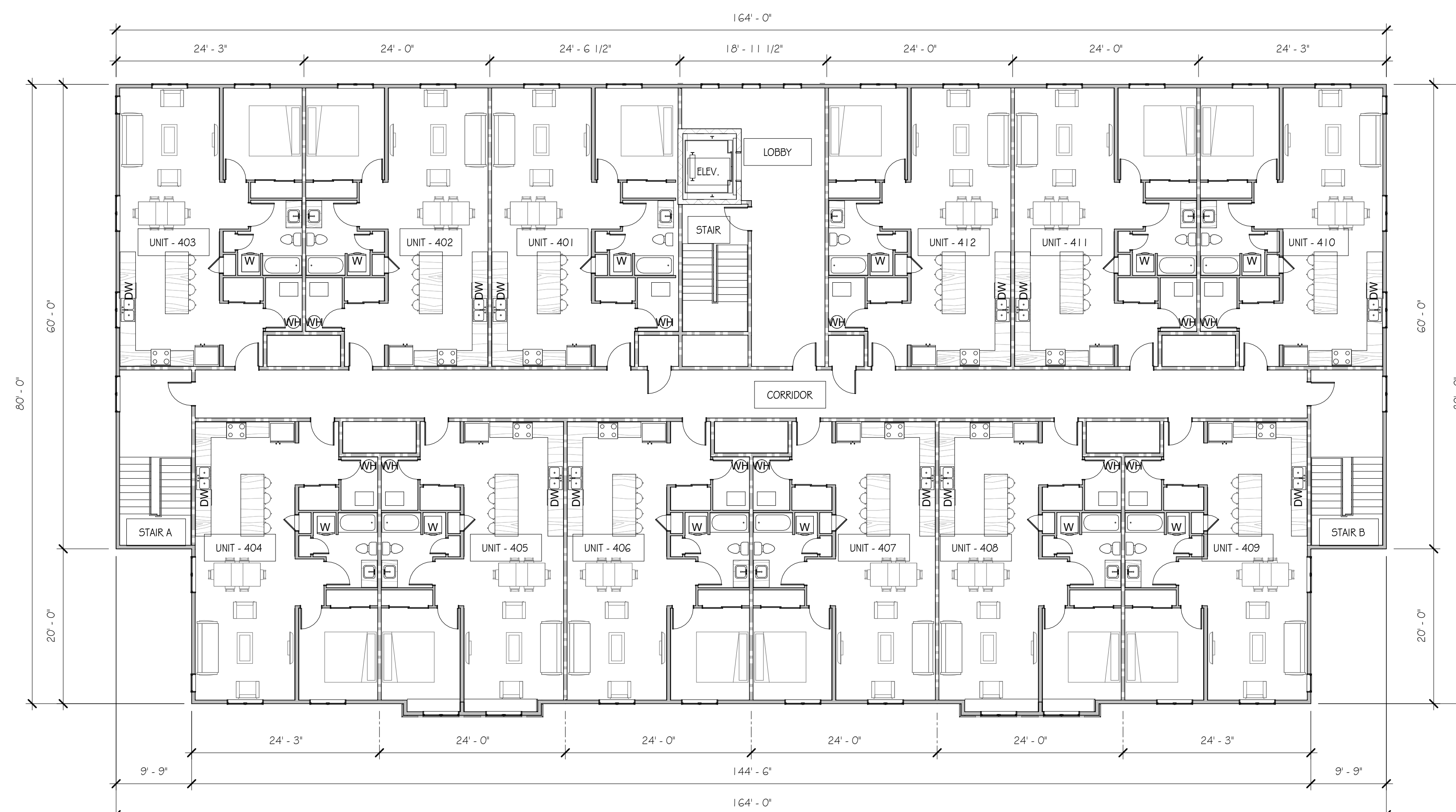
Sheet Title:  
**OVERALL FLOOR PLAN**

Sheet Number:  
**A1.1**

**APPROVED SD**  
**10/31/2024**  
**4:46:18 PM**



② **THIRD FLOOR PLAN**  
3/32" = 1'-0"



① **FOURTH FLOOR PLAN**  
3/32" = 1'-0"

No.	Description	Date
Revision Schedule		

Project Info:  
**76 Port Ave.**

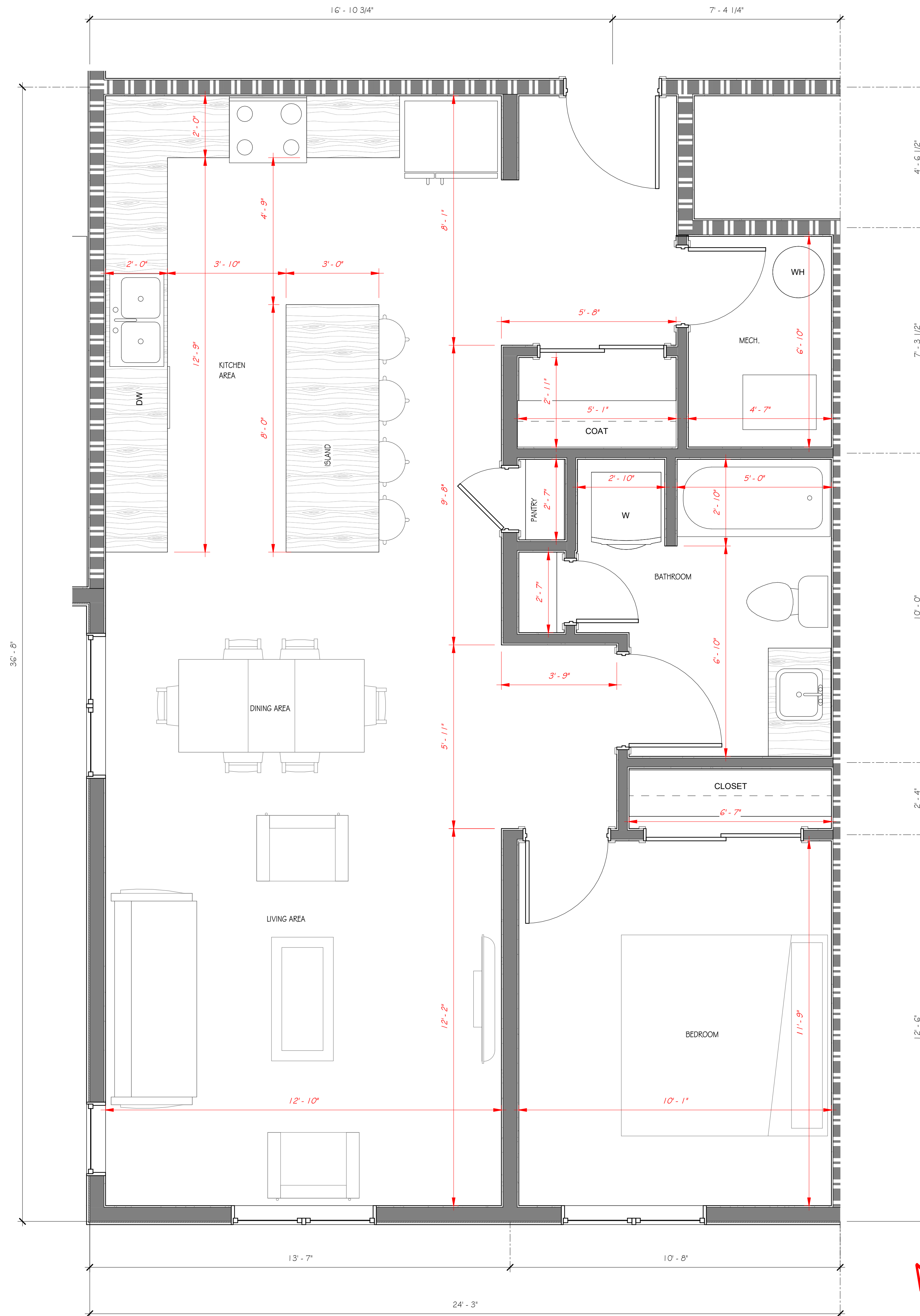
76 Portsmouth Ave.  
Exeter, NH

Sheet Status:  
Latest Release:  
Issued For: Approved SD  
Org. Issue Date: NFC - 103124  
JOB NO:  
DRAFTED: SH  
CHECKED: JMT  
SCALE: 3/32" = 1'-0"

Sheet Title:  
**OVERALL FLOOR PLAN**

Sheet Number:  
**A1.2**

**APPROVED SD**  
**10/31/2024**  
**4:46:21 PM**



**APPROVED SD**  
**10/31/2024**  
**4:46:21 PM**

No.	Description	Date
	Revision Schedule	

Project Info:  
**76 Port Ave.**

**76 Portsmouth Ave.**  
**Exeter, NH**

Sheet Status:  
Latest Release:  
Issued For: Approved SD  
Org. Issue Date: NFC - 103124

JOB NO:  
DRAFTED: SH  
CHECKED: JMT  
SCALE: 1/2" = 1'-0"

Sheet Title:  
**UNIT FLOOR PLAN**

Sheet Number:  
**A1.3**

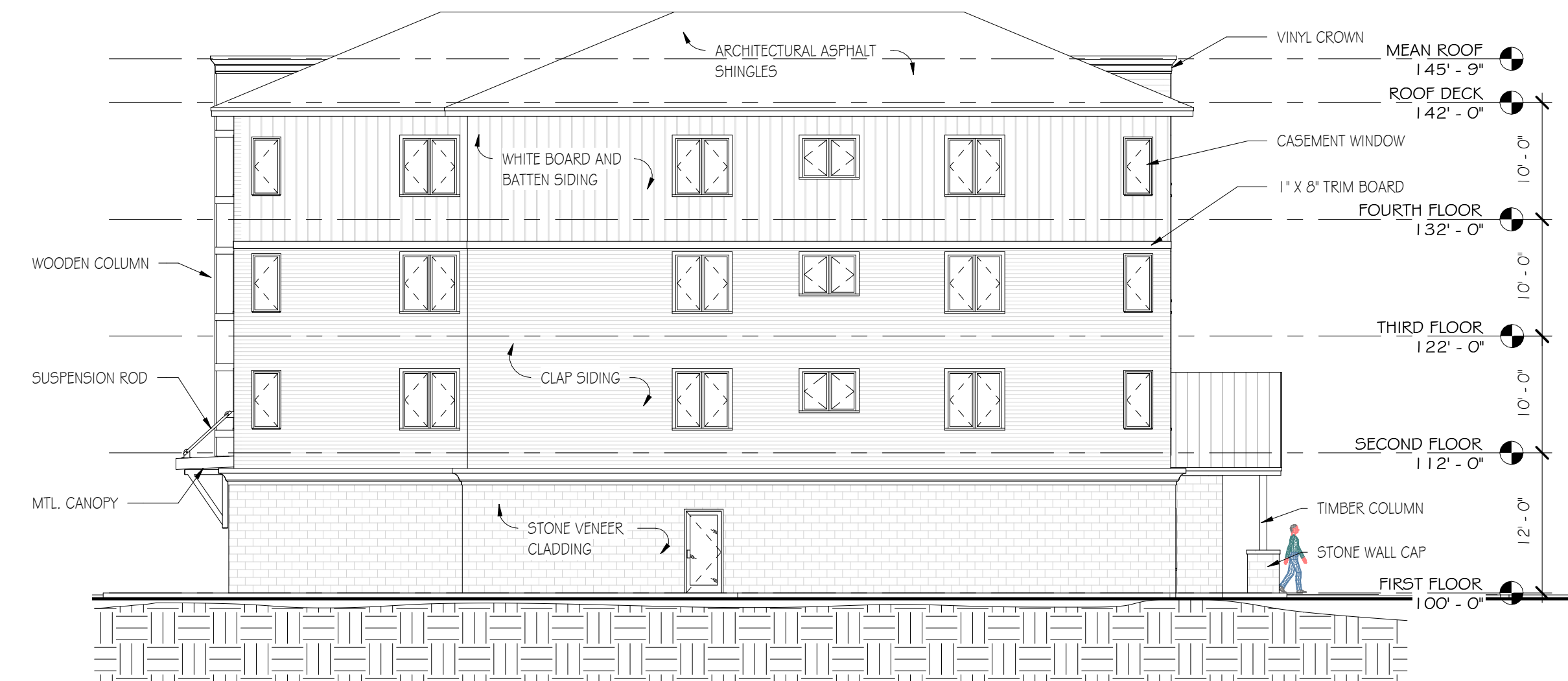




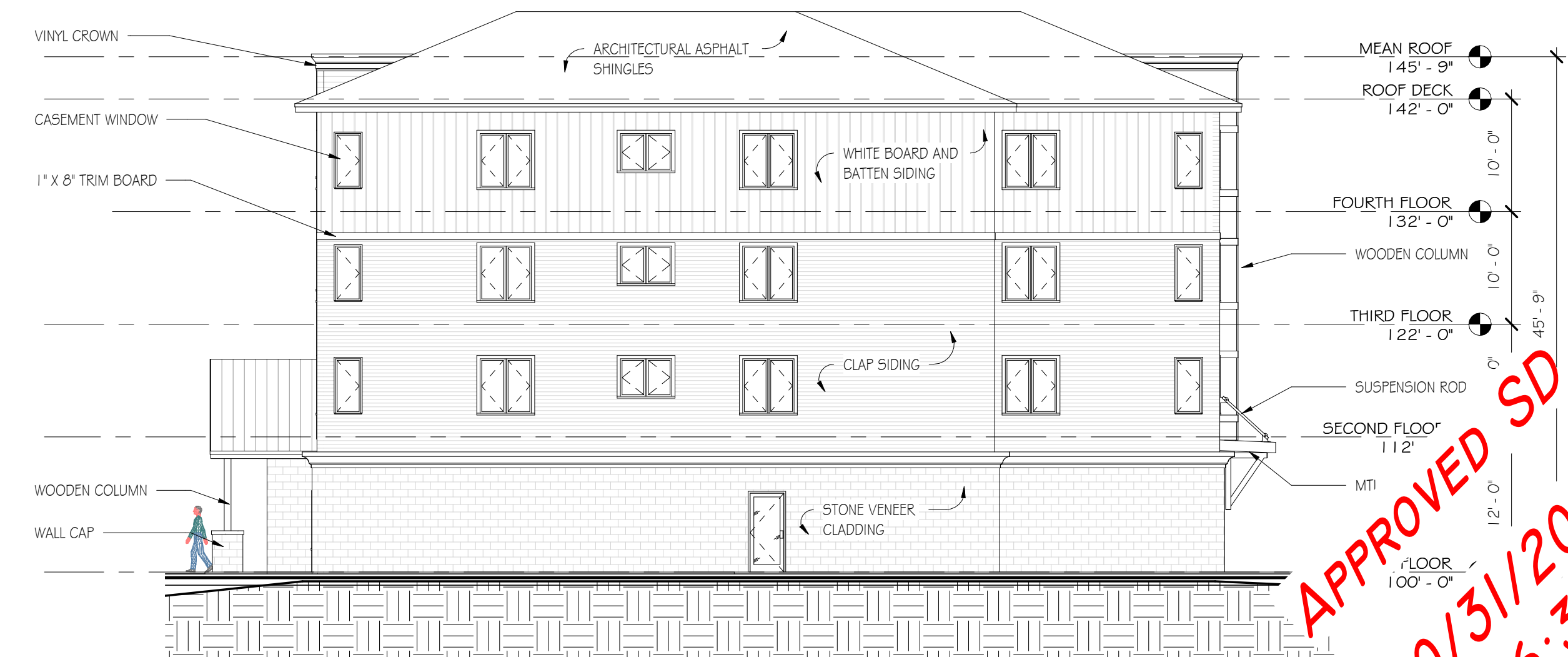
**1 FRONT / STREET SIDE EXTERIOR ELEVATION**  
3/32" = 1'-0"



**3 REAR EXTERIOR ELEVATION**  
3/32" = 1'-0"



**4 RIGHT SIDE EXTERIOR ELEVATION**  
3/32" = 1'-0"



**2 LEFT SIDE EXTERIOR ELEVATION**  
3/32" = 1'-0"

No.	Description	Date
Revision Schedule		

Project Info:  
**76 Port Ave.**

76 Portsmouth Ave.  
Exeter, NH

Sheet Status:  
Latest Release:  
Issued For: Approved SD  
Org. Issue Date: NFC - 103124  
JOB NO:  
DRAFTED: SH  
CHECKED: JMT  
SCALE: 3/32" = 1'-0"

Sheet Title:  
**EXTERIOR ELEVATION DESIGN OPTION A**

Sheet Number:  
**A3.1**

APPROVED SD  
10/31/2024  
4:46:33 PM













FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

REVISIONS	
NO.	DATE
1	10/30/24
2	11/1/24

REVISION	DESCRIPTION
1	ELEVATIONS RELEASED FOR RENDERING
2	REVISED ELEVATIONS RELEASED FOR RENDERING

ELEVATIONS

DRAWN BY:	AD
CHECKED BY:	PH
DATE ISSUED:	11/1/24
SCALE:	PER PAGE
JOB NO.:	PHS

76 PORTSMOUTH AVE, EXETER, N.H.  
BUILDING 1



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	DATE	REVISION	ELEVATIONS RELEASED FOR RENDERING
1	1/2/24		

REVISIONS
ELEVATIONS RELEASED FOR RENDERING

ELEVATIONS

DRAWN BY:	AD
CHECKED BY:	FR
DATE REVISED:	1/2/24
SCALE:	PER PAGE
JOB NO.:	PRE3

16 PORTSMOUTH AVE. EXETER, N.H.  
BUILDING 3





FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

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REVISIONS	
NO.	DATE
1	10/20/24
2	11/1/24

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ELEVATIONS

DRAWN BY:	AD
CHECKED BY:	RM
DATE ISSUED:	11/1/24
SCALE:	PER PAGE
JOB NO.:	FRS

76 PORTSMOUTH AVE, EXETER, N.H.  
BUILDING 4



NO.	DATE	REVISION
1	1/2/24	ELEVATIONS RELEASED FOR RENDERING

NO.	DATE	REVISION
1	1/2/24	ELEVATIONS RELEASED FOR RENDERING

NO.	DATE	REVISION
1	1/2/24	ELEVATIONS RELEASED FOR RENDERING

ELEVATIONS

DRAWN BY:	AD
CHECKED BY:	PH
DATE ISSUED:	1/2/24
SCALE:	PER PAGE
JOB NO.:	FRS

76 PORTSMOUTH AVE., EXETER, N.H.  
BUILDING 5

NO.	DATE	REVISION
1	1/2/24	ELEVATIONS RELEASED FOR RENDERING

NO.	DATE	REVISION
1	1/2/24	ELEVATIONS RELEASED FOR RENDERING



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"



FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

REVISIONS	
NO.	DATE
1	10/30/24
2	11/1/24

ELEVATIONS

DRAWN BY: AD  
 CHECKED BY: RM  
 DATE ISSUED: 11/1/24  
 SCALE: PER PAGE  
 JOB NO: PRES

76 PORTSMOUTH AVE, EXETER, N.H.  
 BUILDING 6





FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	REVISION	DATE
1	ELEVATIONS RELEASED FOR RENDERING	10/20/24
2	REVISED ELEVATIONS RELEASED FOR RENDERING	11/1/24

REVISIONS		
NO.	REVISION	DATE
1	ELEVATIONS RELEASED FOR RENDERING	10/20/24
2	REVISED ELEVATIONS RELEASED FOR RENDERING	11/1/24

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ELEVATIONS

DRAWN BY:	AD
CHECKED BY:	RM
DATE ISSUED:	11/1/24
SCALE:	PER PAGE
JOB NO.:	FRS

76 PORTSMOUTH AVE, EXETER, N.H.  
DUPLEX

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