

JONES & BEACH ENGINEERS INC.

85 Portsmouth Avenue, PO Box 219, Stratham, NH 03885
603.772.4746 - JonesandBeach.com

June 27, 2024

Exeter Conservation Commission
Attn. David Short, Chair
10 Front Street
Exeter, NH 03833

**RE: Conservation Commission Application
76 Portsmouth Avenue, Exeter, NH
Tax Map 65, Lot 118
JBE Project No. 24029**

Dear Mr. Short,

On behalf of our client, Green & Company, we respectfully request to be on the July 9, 2024 Conservation Commission agenda to discuss a proposed project on the above-mentioned property. We have submitted a Design Review Application to the Planning Board and anticipate being heard at the July 11th public hearing. We would like to discuss the project with the Conservation Commission as well on a preliminary basis in order to get feedback on proposed wetland buffer impacts. The intent of this application is to propose a Mixed-Use Neighborhood Development (MUND) within the C2 zoning district consisting of three 4-story buildings with a total of (121) 2-bedroom apartments, a 4,680 S.F. commercial space within the building closest to Portsmouth Avenue and one separate triplex on Haven Lane. As required per the MUND Zoning, 10% of the apartment units will be inclusionary housing. Parking for the buildings will be in the basement of each building as well as outside.

The front portion of this property currently consists of the existing Fisher Auto Parts store and associated parking while the rear of the property is wooded. Haven Lane is proposed to be extended within the existing right of way to access the proposed triplex and a fire truck turnaround is proposed. The proposed development will be accessed from Portsmouth Avenue and will have a second access onto Haven Lane.

There are wetlands on the west and east sides of the property, and two ditches that run across the property which have been determined to be man-made wetlands that were constructed for drainage purposes. A large culvert from Portsmouth Avenue outlets into one of the man-made ditches just behind the Fisher Auto Parts parking lot, from which runoff eventually flows to the wetland on the west side of the property. A crossing is proposed for this wetland which will result in wetland impacts as well as some additional impacts to the man-made wetland to the north, which will be relocated so that it continues to allow drainage. Wetland buffer impacts are also proposed as part of the project.

The following are included with this application:

1. Cover Letter.
2. Signed Letters of Authorization.
3. One (1) Full Size Plan Set.
4. One (1) Half Size Plan Set.

If you have any questions or need any additional information, please feel free to contact our office. Thank you very much for your time.

Very truly yours,
JONES & BEACH ENGINEERS, INC.



Paige Libbey, P.E.
Associate Principal

cc: Jenna Green, Green & Company (via email)
Michael Green, Green & Company (via email)
John O'Neill (via email)
Jim Gove, Gove Environmental Services (via email)


Letter of Authorization

I, Jenna Green, Green & Company, 11 Lafayette Road, PO Box 1297, North Hampton, NH 03862, developer of property located in Exeter, NH, known as Tax Map 65, Lot 118, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously mentioned property. The parcel is located on 76 Portsmouth Avenue in Exeter, NH.

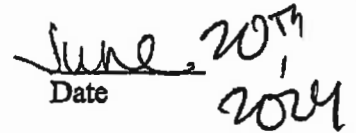
I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.



Witness



Jenna Green
Green & Company



Date

Letter Of Authorization

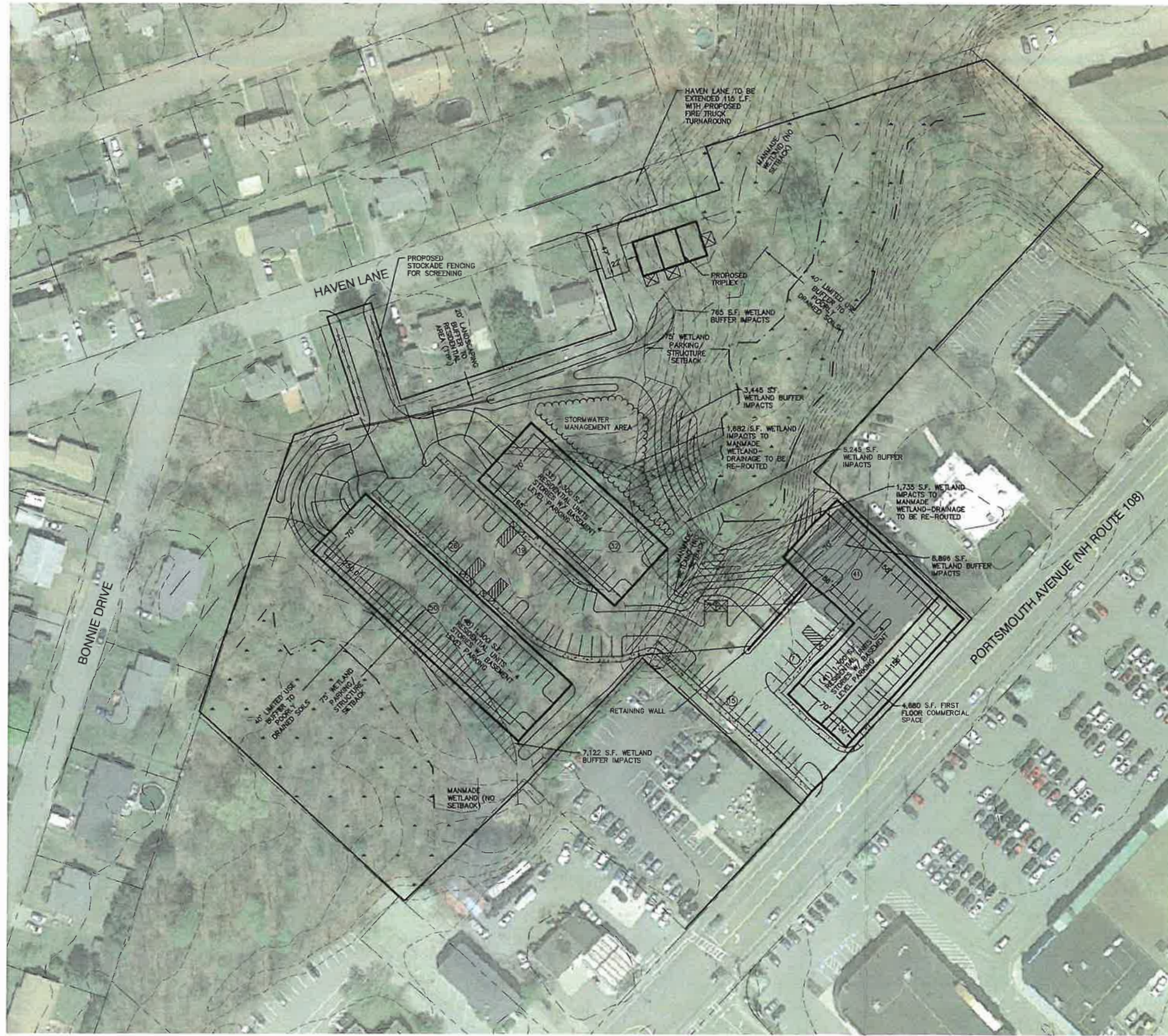
I, Robert J. Weisner, RAP Realty Manchester, LLC, 50 Atlantic Avenue, Seabrook, NH 03874, owner of property located in Exeter, NH, known as Tax Map 65, Lot 118, do hereby authorize Jones & Beach Engineers, Inc., PO Box 219, Stratham, NH, to act on my behalf concerning the previously mentioned property. The parcel is located on 76 Portsmouth Avenue in Exeter, NH.

I hereby appoint Jones & Beach Engineers, Inc., as my agent to act on my behalf in the review process, to include any required signatures.

Julie Weisner
Witness

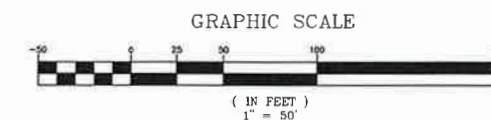
Robert J. Weisner
Owner: Robert J. Weisner
RAP Realty Manchester, LLC

6-20-2024
Date



NOTES:

- THE INTENT OF THIS PLAN IS TO SHOW A MIXED USE NEIGHBORHOOD DEVELOPMENT (MUND) CONSISTING OF THREE BUILDINGS WITH (121) APARTMENTS AND 4,680 S.F. OF COMMERCIAL SPACE, AND (1) SEPARATE TRIPLEX ON HAVEN LANE.
- ZONING DISTRICT: C2
 LOT AREA MINIMUM = 5,000 SF
 LOT WIDTH MINIMUM = 50'
 LOT DEPTH MINIMUM = 100'
 MINIMUM LOT AREA/ DWELLING UNIT = 3,500 S.F.
 BUILDING SETBACKS (MINIMUM):
 FRONT SETBACK = 10'
 SIDE SETBACK = SIDE YARD OF ABUTTING PROPERTY OR 10', WHICHEVER IS LESS
 REAR SETBACK = 20'
 MAX. BUILDING HEIGHT = 35'
 MAX. BUILDING COVERAGE = 75%
 MIN. OPEN SPACE = 5%
 TOWN WETLAND BUFFER = 40' LIMITED USE BUFFER TO P.D. SOILS,
 75' PARKING AND STRUCTURE SETBACK
- ZONING DISTRICT: MUND
 MINIMUM LOT AREA/ DWELLING UNIT = NONE
 FRONT SETBACK = 0' MINIMUM, 25' MAXIMUM
 MAX. BUILDING HEIGHT = 50' / 4 STORIES ABOVE GRADE
- PARKING CALCULATIONS
 MIXED USE NEIGHBORHOOD DISTRICT (MUND) PARKING REQUIREMENTS = 1 SPACE/RESIDENTIAL UNIT + COMMERCIAL PARKING AT 50% OF TOWN OF EXETER SITE PLAN REGULATIONS
 REQUIRED PARKING = 1 SPACE/300 S.F. COMMERCIAL SPACE X 50% = 7.8 SPACES REQUIRED
 1 SPACE / RESIDENTIAL UNIT = 121 SPACES REQUIRED
 TOTAL REQUIRED PARKING = 128.8 SPACES
 PARKING PROVIDED = 190 SPACES (1.5 SPACES/UNIT + 6.5 SPACES FOR COMMERCIAL)
- THE LIMITS OF JURISDICTIONAL WETLANDS WERE DELINEATED BY JM GOVE, GOVE ENVIRONMENTAL SERVICES, DURING SPRING, 2024 IN ACCORDANCE WITH THE FOLLOWING GUIDANCE DOCUMENTS:
 a. THE CORPS OF ENGINEERS FEDERAL MANUAL FOR IDENTIFYING AND DELINEATING JURISDICTIONAL WETLANDS.
 b. THE NORTH CENTRAL & NORTHEAST REGIONAL SUPPLEMENT TO THE FEDERAL MANUAL.
 c. THE CURRENT VERSION OF THE FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, AS PUBLISHED BY THE NEW ENGLAND INTERSTATE WATER POLLUTION CONTROL COMMISSION AND/OR THE CURRENT VERSION OF THE FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, AS PUBLISHED BY THE USDA, NRCS, AS APPROPRIATE.
 d. THE CURRENT NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS, AS PUBLISHED BY THE US FISH AND WILDLIFE SERVICE.
- THIS PLAN SET HAS BEEN PREPARED BY JONES & BEACH ENGINEERS, INC., FOR CONCEPTUAL PURPOSES ONLY BASED ON DATA OBTAINED FROM AERIAL PHOTOGRAPHY, LIDAR TOPOGRAPHY, GIS AND TAX MAP DATA, RECORDED PLAN REFERENCES AND LIMITED ON-SITE FIELD SURVEY. COMPLETE FIELD SURVEY HAS NOT BEEN PERFORMED BY THIS OFFICE AT THIS TIME AND DATA ON THIS PLAN IS TO BE CONSIDERED APPROXIMATE ONLY.
- WETLAND IMPACTS = 3,417 S.F.
 WETLAND BUFFER IMPACTS = 24,708 S.F.



PROJECT PARCEL TOWN OF EXETER TAX MAP 65, LOT 118
APPLICANT GREEN & COMPANY 11 LAFAYETTE RD PO BOX 1297 NORTH HAMPTON, NH 03862
TOTAL LOT AREA 291,852 ± SQ. FT. 6.7 ACRES

Design: MLS	Draft: GDR	Date: 3/15/24
Checked: WGM	Scale: 1"=50'	Project No.: 24029
Drawing Name: 24029-EX-CONDITIONS.dwg		
THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM JONES & BEACH ENGINEERS, INC. (JBE). ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO JBE.		

REV.	DATE	REVISION	BY
1	6/6/24	REVISED PER CLIENT	PSL
0	4/11/24	ISSUED FOR REVIEW	PSL

Designed and Produced in NH

J/B Jones & Beach Engineers, Inc.
Civil Engineering Services

85 Portsmouth Ave, PO Box 219, Stratham, NH 03865 | 603-772-4746 | E-MAIL: JBE@JONESANDBEACH.COM

Plan Name:	CONCEPTUAL SITE PLAN
Project:	NAME OF PROJECT 76 PORTSMOUTH AVE, EXETER, NH
Owner of Record:	RAP REALTY MANCHESTER LLC 50 ATLANTIC AVE, SEABROOK, NH

DRAWING No.	C1
SHEET 1 OF 1 JBE PROJECT NO. 24029	